

OUR LADY OF THE HOLYLAND PARISH

EXISTING FACILITIES CONDITIONS REPORT

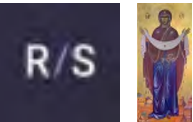
DECEMBER 1, 2023





TABLE OF CONTENTS

1.0	EXECUTIVE SUMMARY
2.0	FACILITIES SNAPSHOT
3.0	<u>FACILITY REPORTS</u>
3.1	PARISH BACKGROUND
3.2	HOLYLAND SCHOOL
3.3	ST. JOHN CHURCH
3.4	ST. JOHN RECTORY
3.5	HOLY CROSS CHURCH
3.6	HOLY CROSS RECTORY
3.7	ST. CLOUD CHURCH
3.8	ST. CLOUD RECTORY
3.9	ST. MARY CHURCH
3.10	ST. MARY RECTORY
3.11	ST. JOSEPH CHURCH
3.12	ST. JOSEPH SCHOOL



OUR LADY OF THE HOLYLAND: EXISTING CONDITIONS 2023- EXECUTIVE SUMMARY

In fall 2023, RAMLOW/STEIN Architects + Interiors lead a team of consultants in conducting an existing conditions assessments of the eleven buildings across five sites that make up the current facilities of Our Lady of the Holyland Parish.

The project goal is to assess and document the condition of the existing facilities; including physical condition, maintenance needs, program fit and identify potential building code issues.

The team started with a tour each building for an overview of general use and relative condition. Plans and maintenance records were collected where available. After the initial tour, the team returned over several days in August and September for in-depth review of building, site, roof and MEP systems. A photo survey was conducted and basic floor plans developed to map and document noted issues.

The resulting report is not an exhaustive review of every component of each building, but rather a “moment in time” snapshot of the current conditions. It is a broad overview of facilities in relative terms- new to due for replacement; works well or does not meet program needs. Specific items are included in the facility report pages, but the overriding purpose of this assessment is to help the Parish identify and document anticipated facility needs over the next 1- 10 years.

This report contains a graph- “SNAPSHOT” showing the relative condition of various elements in each building (envelope, roof, site, program fit, etc.) with on a scale of good/moderate/poor. The facility report pages consist of plans for each building with key photos and observations noted.

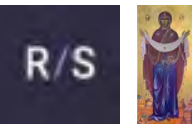
PROJECT TEAM

Architectural: RAMLOW/STEIN Architects + Interiors

Mechanical/Electrical/Plumbing: Ring & DuChateau

Site/Civil: Kapur & Associates

Roof: M.W. Tighe Roofing



FACILITIES ASSESSMENT MATRIX

The graphic below and on the next page rates each building and its components on a scale of good-moderate-poor. The cost information is a high level look at relative costs for long term budgeting of capital projects.

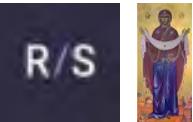
\$ = Routine Maintenance, \$\$= Maintenance, Repairs and Select Replacement \$\$\$= Major Repair, Replacement and Upgrades. All are to be refined in the context long term parish plans defining specific project needs.

Building	Exterior Building Condition	Roof	Site Condition	Program Fit
Holyland School	Moderate, minor tuckpointing needed on masonry. Windows are generally new, some windows are existing at the lower level and need replacing. Peeling paint should be repaired, brick opening under stair should be blocked off.	Moderate, 14 years old. Ballasted roof. Stressed membrane flashing at curbs, displaced stone ballast. Remaining service life 5-7 years.	Approximately 75% of the asphalt on site is in good condition, the remaining 25% is in fair to poor condition with areas of significant cracking/rutting. Playground and equipment is in good to moderate condition. The rubber mulch is on average 6" deep with areas of exposed sub surface from excessive use. Recommended is 8"-12". The playground boarder was made up of treated wood with rebar spikes to keep them in place. There were areas of exposed rebar above the wood. Fencing was in good shape but high in locations. The grass and landscape on site was well established and maintained.	Building fits intended program needs. Classrooms that have not been updated could use a updating. Accessibility should be addressed. Gym could be considered in future expansion.
St. John Church	Moderate, large areas of masonry needs tuckpointing. Windows are stained glass, storms are older. Wood trim is missing in locations, paint is peeling at doors.	Moderate, Unknown age of roof/original. Slate tile, assumed asbestos, flashing repairs needed in area recently replaced. Remaining service life 5-7 years.		Building fits intended need, accessibility is needed.
St. John Rectory	Moderate, vinyl siding is in good shape, windows are older double hung wood windows with storms, no immediate need for replacement. Gutters or splash pads are missing at some downspouts, some cracks in the foundation.	Moderate, 25-30 years old. Asphalt shingles. Exposed metal valleys rusting, masonry on chimney in need of repair. Remaining service life 2-4 years.		Building fits intended need, if building is used for office functions more regularly ADA will need to be explored.
Holy Cross Church	Good, masonry is in good condition, some gapping at exterior transitions and windows that will need caulking/patching.	Good, 23 years old. Metal roof. Loose gutter, missing snow guard and deteriorated masonry on chimney. Remaining service life, 7-9 years.	Approximately 90% of the asphalt on site is in good condition, the remaining 10% is in fair to poor condition with areas of significant cracking/rutting. Concrete sidewalk around the church was recently replaced and in good condition. Two ADA parking stalls south of church missing ADA post signs. The grass and landscape on site was well established and maintained.	Building fits intended need, if additional churches are consolidated to this location larger gathering space could be explored. Accessibility is present but not entirely compliant.
Holy Cross Rectory	Moderate, vinyl siding is in good condition, basement windows are nearing end of useful life, main level windows seem to have some life yet but are single pain with a storm. Exposed CMU foundation needs some tuckpointing.	Good, 18 years old. Asphalt shingles. No issues noted. Remaining service life 6-8 years.		Building does not fit the intended use. As the main church rectory ADA access should be considered to this building. Meeting spaces in the basement are not code compliant.
St. Cloud Church	Moderate, large areas of masonry needs tuckpointing. Windows are stained glass, storms are but in fair condition. Non-stained glass windows are single pain wood windows with storms, may be nearing end of useful life. Stone foundation is breaking off in locations.	Moderate, 21 years old. Asphalt shingles. Granule loss and cracks on south elevation, deteriorated masonry at bell tower and west walls. Remaining service life 5-7 years.	The asphalt path around the cemetery was overall in moderate to poor condition. The asphalt adjacent to the church was in good condition except for faded parking stalls. Concrete walks around the site are in good condition. Two ADA parking stalls north of church missing ADA post signs. The grass and landscape on site was well established and maintained. The railing around the church site does not meet fall protection code.	Building fits intended use, accessibility is present but not entirely compliant. Accessible meeting space could be desired (not in the basement.)
St. Cloud Rectory	Moderate, stucco exterior is in fair shape, Windows are vinyl double pain and are in good shape. Paint is peeling at wood window trim and wood decks, basement windows are nearing end of useful life	Good, 28 years old. Asphalt shingles. No issues noted. Remaining Service life 5-7 years.		Building fits intended use. In the future if building houses other functions accessibility will need to be addressed.
St. Mary Church	Moderate, minor tuckpointing needed on masonry. Windows are stained glass, storms are older and trim is starting to rot and peel. Trim replacement is needed at locations. Foundation is cracking at locations.	Good, 5 years old. Asphalt shingles. Downspout missing on southwest corner of sanctuary, loose metal flashing on bell tower, loose copper seams along outer edge of gutter. Remaining service life 20 + years.	Approximately 75% of the asphalt on site is in good condition, the remaining 25% is in moderate to poor condition with areas of significant cracking/rutting. Concrete sidewalk, stairs and ramps are in good condition. ADA signs need to be install at a height of 60" from the ground. Congregation wide, signs were low. The grass and landscape on site was well established and maintained.	Building fits intended use, accessibility is present but not entirely compliant.
St. Mary Rectory	Moderate, exterior brick is in good shape. Windows are in poor condition, seals are popping and user noted constant draft in the winter. Exterior header needs painting and exterior stair railings are not code compliant.	Poor, Unknown age of roof/original. Slate tile, assumed asbestos, buckling at the chimney, exposed wood under hip cap, deteriorated mortar at chimney. Remaining service life 1-3 years.		Building fits intended use. In the future if building houses other functions accessibility will need to be addressed.
St. Joseph Church	Moderate, minor tuckpointing needed on masonry. Windows are stained glass, storms are older. Trim on garage is significantly rotting & peeling.	Moderate, Unknown age of roof/original. Slate tile, assumed asbestos, broken loose tiles at eave, deteriorated mortar at chimney, loose gutter straps. Remaining service life 3-5 years.	Approximately 50% of the asphalt on site is in good condition, the remaining 50% is in moderate to poor condition with areas of significant cracking/rutting. Concrete sidewalk, stairs and ramps are in good condition. The grass and landscape on site was well established and maintained.	Building generally fits intended use but does not include restroom and the restroom onsite is not ADA compliant. If School is removed addition housing restrooms & mechanical should be explored
St. Joseph School	Poor, large area of masonry needs tuckpointing, exterior stairs are cracking and separating in large sections especially at the main entry. Railings are not code compliant. Lintels and foundation are cracked in locations	Good, 25 years old. Asphalt shingles. No issues noted. Remaining Service life 6-8 years.		Building does not fit the intended use. Building is strictly used for restrooms which is not the highest and best use of the facility.

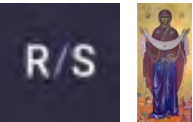
GOOD

MODERATE

POOR



Building	ADA/Accessibility	Mechanical	Electrical	Plumbing	Cost to Update as is	Cost to Update to Ideal
Holyland School	Poor, building is not accessible, no lift at doors, stairs are not at grade level. Restrooms are not ADA accessible, functions are not ADA accessible.	Poor, due to the age of the systems. Future dollars should be allocated for all new HVAC systems throughout the building.	Moderate, Fire alarm has recently been tested, T8 lighting and old wiring	Poor, due to the age of the systems. Future dollars should be allocated for new water heaters, water softeners, well tank, and plumbing fixtures.	\$\$\$	\$\$\$
St. John Church	Moderate, Restroom is not ADA accessible, functions are not ADA accessible. Mezzanine is not ADA accessible, guardrails are not compliant.	Moderate, due to the age of the systems. The HVAC equipment in this building has been well maintained potentially allowing the equipment to operate beyond its expected service life. Future dollars should be allocated for new furnaces and associated air-cooled condensing units for cooling.	Moderate, due to the age of the wiring and lack of emergency lighting	Poor, due to the age of the systems. Future dollars should be allocated for new water heaters and plumbing fixtures.	\$\$	\$\$\$
St. John Rectory	Moderate, building is acceptable for use as a house but would have code discrepancies if new uses were introduce or new residents that require ADA. Building is being used in 1 instance for something outside of its intended use.	Poor, due to the age of the systems. Future dollars should be allocated for boiler system and piping replacement.	Moderate, due to the age of wiring and lack of emergency lighting if open to the public.	Poor, due to the age of the systems. Future dollars should be allocated for new water heaters and plumbing fixtures.	\$\$	\$\$
Holy Cross Church	Moderate, most of building is accessible, exterior doors do not have auto operators. Restrooms are not ADA compliant. Sanctuary does not have ADA access, functions are not ADA accessible.	Good, due to the age of the systems and availability of R-22 refrigerant. The HVAC equipment in this building has been well maintained potentially allowing the equipment to operate beyond its expected service life. Future dollars should be allocated for replacement of DX refrigerant cooling system and air handling units.	Good, probably the most recent entire electrical system.	Good due to the age of the systems future dollars will not be required to allocated to upgrade plumbing systems.	\$	\$\$
Holy Cross Rectory	Poor, building is not accessible, no lift at doors, stairs are not at grade level. Restroom is not ADA accessible, functions are not ADA accessible. Building is being used for something outside of its intended use.	Good, due to the age of the systems and availability of R-22 refrigerant. The HVAC equipment in this building has been well maintained potentially allowing the equipment to operate beyond its expected service life. Future dollars should be allocated for replacement of DX refrigerant cooling system and furnace units.	Moderate, due to the age of the wiring and lack of emergency lighting	Moderate, due to the age of the systems. Future dollars should not be allocated for new water heaters, water softener, and plumbing fixtures.	\$	\$\$
St. Cloud Church	Moderate, ADA lift is accessible from grade level to church. Mezzanine does not have ADA access. Restroom is not ADA compliant. Sanctuary does not have ADA access, functions are not ADA accessible.	Good, due to the age of the systems. The HVAC equipment in this building has been well maintained potentially allowing the equipment to operate beyond its expected service life. Future dollars should be allocated for piping insulation of the system.	Moderate, due to the age of the wiring and lack of emergency lighting	Good due to the age of the systems future dollars will not be required to be allocated to upgrade plumbing systems.	\$\$	\$\$
St. Cloud Rectory	Moderate, building is acceptable for use as a house but would have code discrepancies if new uses were introduce or new residents that require ADA.	Good, due to the age of the systems. The HVAC equipment in this building has been well maintained potentially allowing the equipment to operate beyond its expected service life. Future dollars should be allocated for replacement of the hot water system pump.	Moderate, due to the age of the wiring and lack of emergency lighting	Poor, due to the age of the systems. Future dollars should be allocated for new water heaters and plumbing fixtures.	\$	\$\$
St. Mary Church	Moderate, ramp is provided from grade. Restroom is ADA/code compliant. Sanctuary does not have ADA access, functions are not ADA accessible.	Good, due to the age of the systems. The HVAC equipment in this building has been well maintained potentially allowing the equipment to operate beyond its expected service life. Future dollars should not be allocated for replacement of the system.	Good	Good due to the age of the systems future dollars will not be required to be allocated to upgrade plumbing systems.	\$	\$\$
St. Mary Rectory	Moderate building is acceptable for use as a house but would have code discrepancies if new uses were introduce or new residents that require ADA.	Good, due to the age of the systems. The HVAC equipment in this building has been well maintained potentially allowing the equipment to operate beyond its expected service life. Future dollars should not be allocated for replacement of the system.	Moderate, due to the age of the wiring and lack of emergency lighting	Poor, due to the age of the systems. Future dollars should be allocated for new water heaters and plumbing fixtures.	\$\$	\$\$
St. Joseph Church	Poor, building is accessible via ramp. Building/site does not have ADA accessible restroom.	Moderate, due to the age of the system piping. Future dollars should be allocated for replacement of pipe insulation.	Moderate, due to the age of the wiring and lack of emergency lighting	Minimal plumbing present.	\$\$\$	\$\$\$
St. Joseph School	Poor, building is not accessible. No lift at doors, stairs are not at grade level. Restroom is not ADA accessible, functions are not ADA accessible. Second exit in basement is not code compliant	Moderate overall, due to the age of the systems. Future dollars should be allocated for replacement of boiler condensate pump, cast iron radiators and piping insulation.	Poor, due to fire alarm, obsolete panels, T8 lighting and old wiring	Poor, if this building is to remodeled in the future, the plumbing system is a complete gut and installation of new plumbing systems.	\$\$\$	\$\$\$



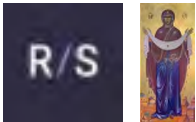


PARISH BACKGROUND

Our Lady of the Holyland is located in the northwest corner of the Archdiocese of Milwaukee, between Fond du Lac and Plymouth near Lake Winnebago. In 1841, Fr. Caspar Rehrl along with pioneer families from Germany founded St. John the Baptist Parish in Johnsburg, Wisconsin. Visitation of the Blessed Virgin Mary Parish in Marytown was established in 1849. That same year Fr. Rehrl, the "Apostle to the Holyland" built a log chapel under the patronage of St. Nicholas to serve the German immigrant farmers in nearby Mount Calvary. Renamed Holy Cross, this parish would eventually become three parishes with the establishment of St. Claudius (later St. Cloud) in St. Cloud and St. Joseph in St. Joe. The 3 communities were reunited and became St. Isidore the Farmer Parish in 2010.

Today, the 5 churches which make up Our Lady of the Holyland Parish work together so that they might be a stronger and more vibrant community of faith.

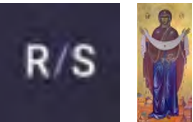
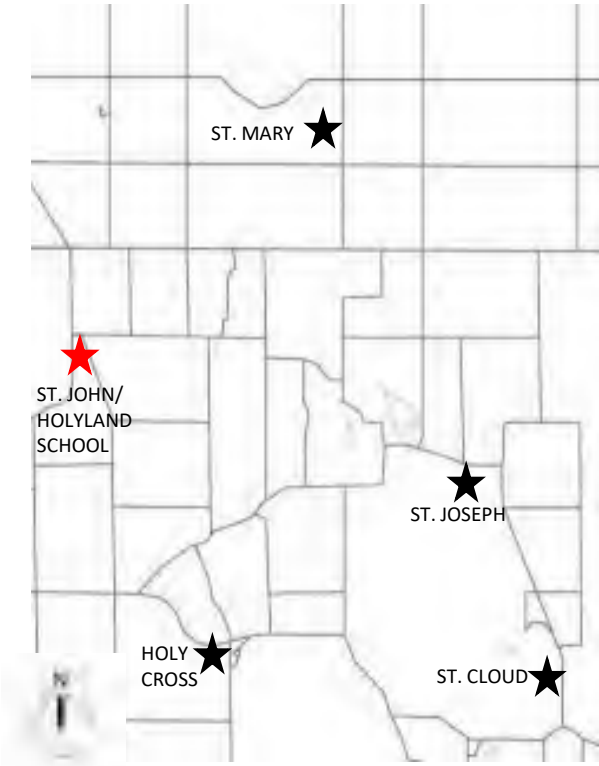
The Capuchin Franciscan friars of the Province of St. Joseph have been serving the people of the Holyland since 1857. Today 3 Capuchin friars serve the people of the Holyland: Fr. Paul Koenig, OFM Capuchin as pastor and Fr. Oliver Bambenek, OFM Capuchin and Fr. Larry Abler, OFM Capuchin as sacramental ministers.



FACILITIES ASSESSMENT – HOLYLAND SCHOOL

3.2

CONSTRUCTION:	1923
BUILDING AREA:	20,775 sq. ft. (Approx) 2 Stories + Basement
STRUCTURE:	Masonry walls, concrete floor structure
SYSTEMS:	<p>Electrical: Fire alarm is obsolete, has been recently tested, likely a 120-volt system. Service equipment is obsolete. Some branch panels are also obsolete. Two S fuse type panels in use, open cover and exposed energized components. Majority of the wiring is original. Original emergency source was a tap ahead of the main, but unit battery lighting and unit battery exits have been added. Interior lighting is mostly T8 fluorescent with a mixture of HID and LED on exterior. No true telecom/server room, equipment just in the corner of a storage room. School has several exterior security cameras.</p> <p>HVAC: The hot water boiler and connected natural gas fired burner are located in the basement. The boiler and burner have exceeded their expected service life of 35 and 20 years respectively and are in poor condition. The associated hot water circulating pump was replaced in 2022 and is in good condition. The 1960's era air handling unit serving the basement cafeteria is beyond its expected service life of 25 years. The 1980's era unit ventilators serving the classrooms are beyond their expected service life of 15 years. The building has no central air conditioning. The kitchen's cooking equipment does not have code-required exhaust hoods, fire suppression or make-up air systems. The building's temperature controls are combination of pneumatic and electric. The associated air compressor is beyond its expected service life of 20 years.</p> <p>Plumbing: Domestic water system: supplied from a well that supports the school, church and rectory. The domestic water piping is a mixture of copper and galvanized pipe that is original to the building and is in fair to poor condition. The water softeners and well pressure tank are both in poor condition. Domestic hot water is supplied by two electric water heaters that are in good condition. Waste and vent system: Is a combination of cast iron and PVC and is in good (PVC) to poor (C.I.) condition. In the basement I.T. room there was a strong sewer gas smell that is most likely due to loss of the trap seal at the floor drain in the room. Plumbing fixtures are in fair to poor condition but are not past their useful life. The drinking fountains are old and obsolete, staff would like new drinking fountains with bottle fillers.</p>
CURRENT USE:	<p>Education – Classrooms, Offices</p> <p>Assembly – Cafeteria</p> <p>Mechanical – Equipment Room/Boiler Room</p>
PROGRAM FIT:	<p>Updated/Efficient Classrooms</p> <p>Gymnasium</p> <p>ADA Accessibility throughout the building</p>



SCHOOL ADDITON/ LOW ROOF

- ROOF AGE:

14 years old
- ROOF TYPE:

Ballasted
- CONDITION:

Moderate
- RECENT REPAIRS:

None Noted
- RECOMMENDED REPAIRS:

Stressed membrane flashing at curb penetrations will need repair, displaced stone ballast from previous leak investigation
- REMAINING LIFE:

5-7 Years

ORIGINAL SCHOOL/ HIGH ROOF

- ROOF AGE:

New (2023, scheduled replacement during assessment period)
- ROOF TYPE:

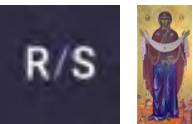
Two ply membrane
- CONDITION:

Excellent
- RECENT REPAIRS:

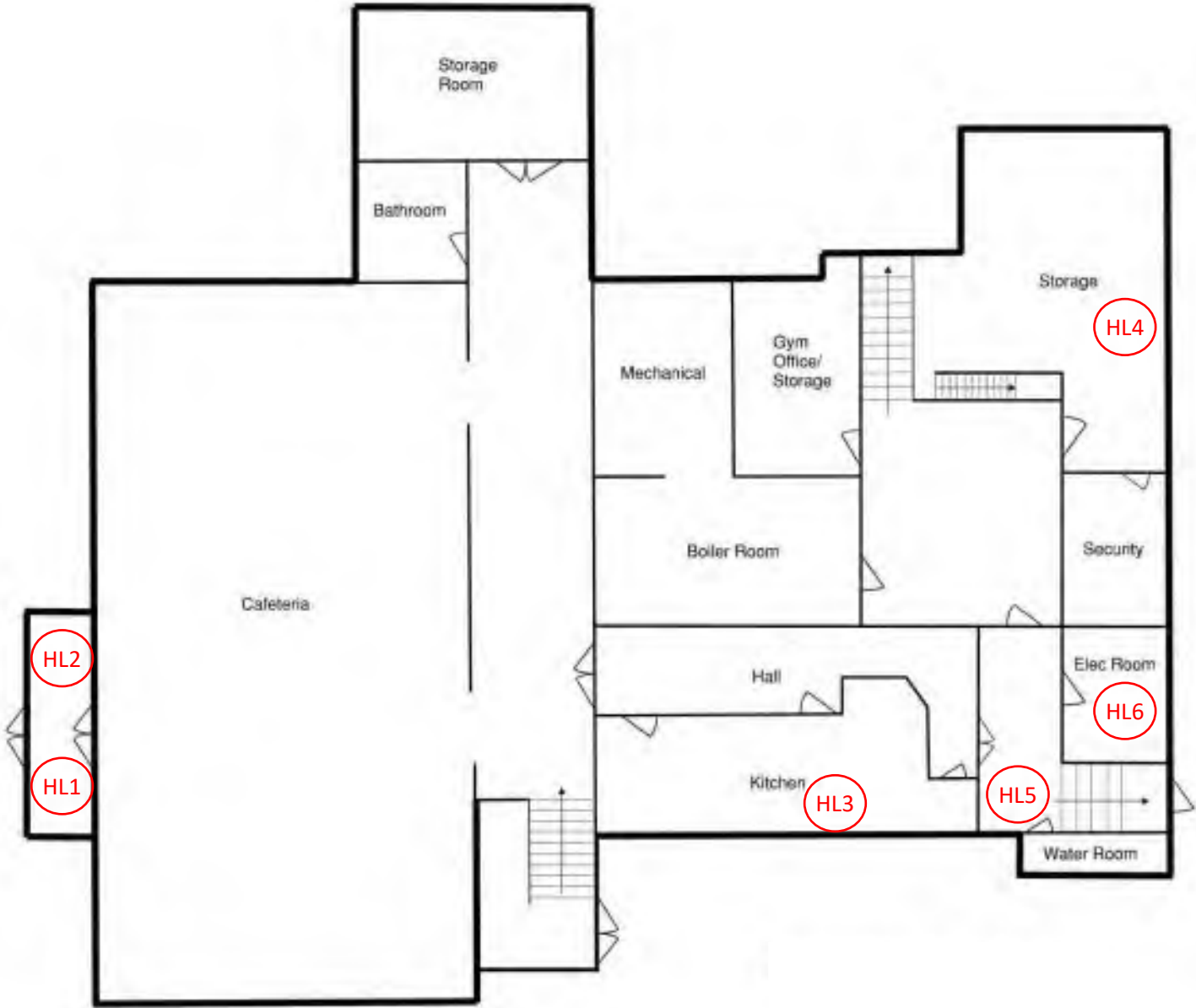
Full replacement 2023 (3,350 SF), parapets wrapped with metal trim
- RECOMMENDED REPAIRS:

None
- REMAINING LIFE:

20+ Years



NOTES

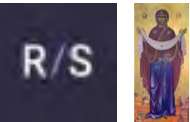


**Plans are diagrammatic sketches and not to scale

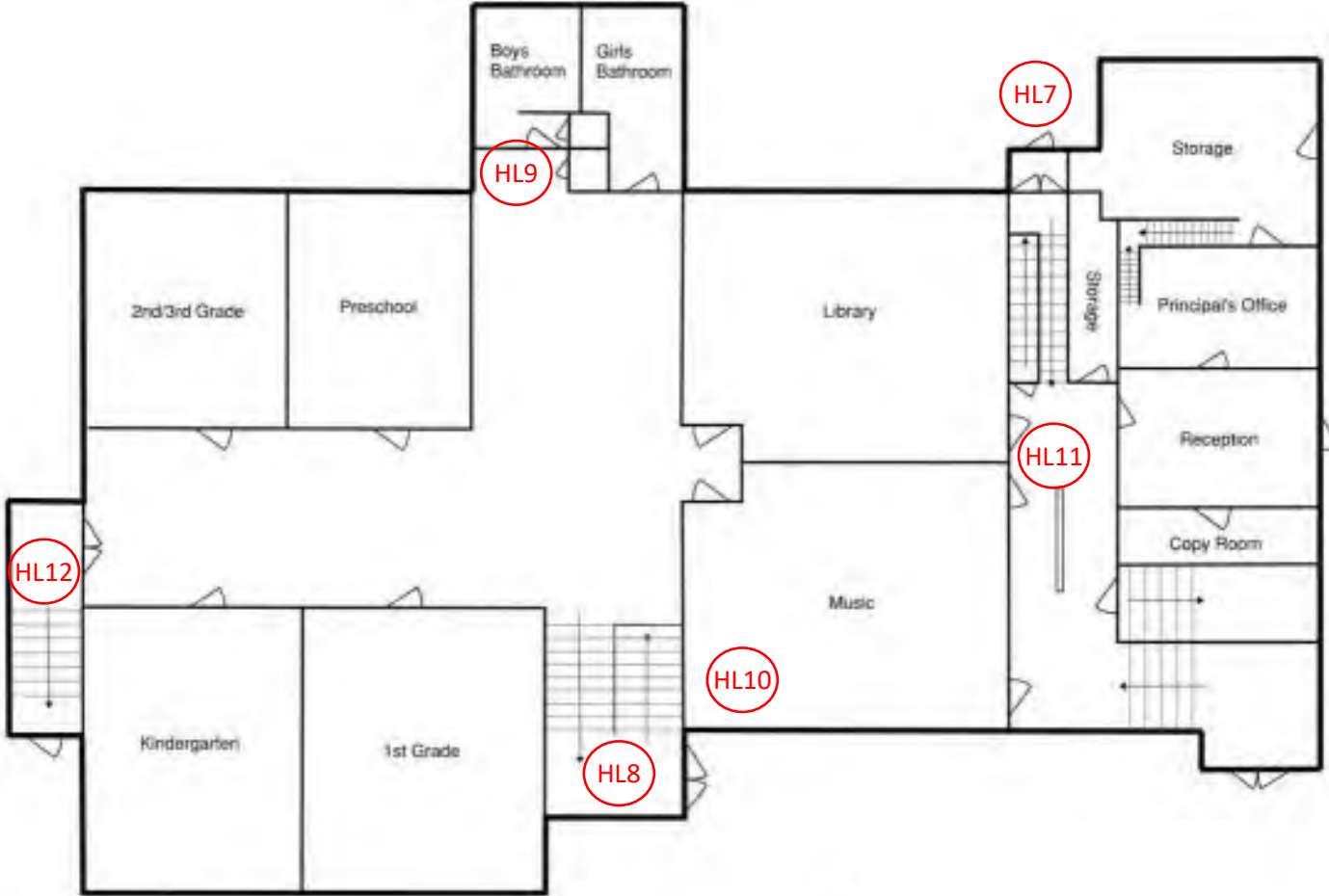
BASEMENT



- HL1 – Moisture seems to be an issue in the vestibule, concrete was weathering, ceiling was peeling, brick had signs of efflorescence.
- HL2 – Rust/Weathering is present at exterior door jambs.
- HL3 – Kitchen exhaust is dated, counters are not ADA compliant.
- HL4 – Water was present around the dehumidifier/floor drain.
- HL5 – Cracking/Peeling Paint/Gaps at exterior wall in the water room.
- HL6 –At infilled windows ensure infill has insulation and is properly sealed.



NOTES

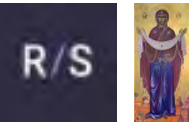


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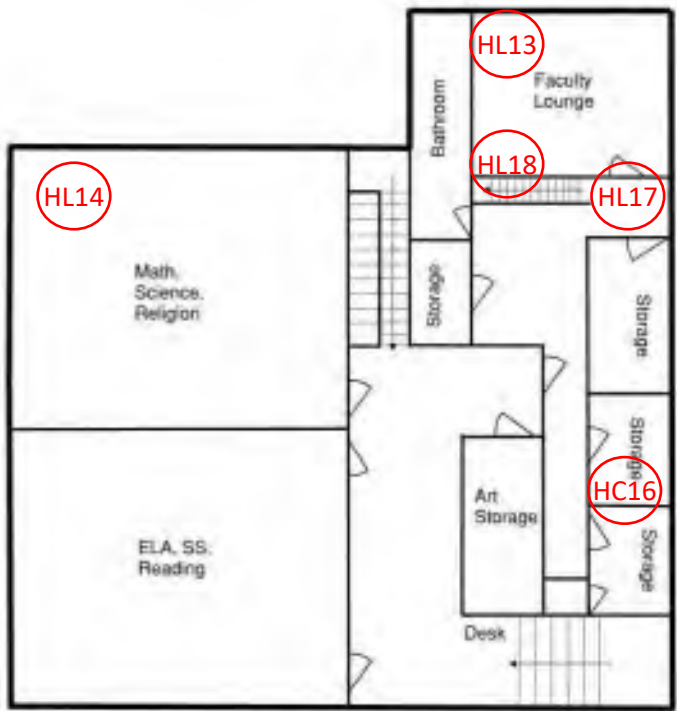
FIRST FLOOR



- HL7 – weathering/rot at wood door threshold (various locations).
- HL8 – No ADA access is provided to any floor, guardrail is not compliant
- HL9 – No ADA stall is provided in either restroom.
- HL10 – Cracking in tin ceiling (various locations).
- HL11 – Drinking fountain is in-between 2-180 degree doors, not appropriate ADA clearances.
- HL12 – Vinyl risers are peeling on the stairs creating a tripping hazard.



NOTES



**Plans are diagrammatic sketches and not to scale

SECOND FLOOR



HL13



HL14



HL15

- HL13 – Significant cracking in plaster wall (various locations).
- HL14 – Corrosion of tin ceiling (various locations).
- HL15 – Cracking/missing sections of floor tile, may cause trip hazard.
- HL16 – Cracking in plaster ceilings (various locations)
- HL17 – Water damager above door to faculty lounge
- HL18 – Small kitchenette is provided, casework is not ADA accessible.



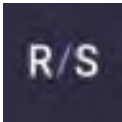
HC16



HC17



HC18



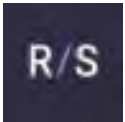
NOTES



EXTERIOR



- HL19 – Expansion joint from concrete to brick needs to be replaced.
- HL20 – Asphalt is flat at building and does not maintain positive pitch.
- HL21 – Original single pane windows at grade are significantly weathered.
- HL22– Wood window hole has large hole.
- HL23 – Infilled CMU has gaps to existing building.
- HL24 – Large hole exists underneath patio, may want to close this off.



FACILITIES ASSESSMENT – ST. JOHN CHURCH 3.3

- CONSTRUCTION:

1857

Steeple Entrance & Sanctuary added in early 1890's
- BUILDING AREA:

16,339 sq. ft. (Approx) 1 Story + Mezzanine & Basement
- STRUCTURE:

Stone foundation walls, wood beams and joists.
- SYSTEMS:

Electrical: Service panel and branch panels are of current manufacture. Service panel also supplied the pavilion. Majority of the wiring is original. The building has lightning protection that should be reviewed to confirm it still is fully functional. Only 1 exit light in building and no emergency lighting or emergency power to exit light. Interior lighting appears to still be incandescent. Exterior is HID on poles or building mounted. Sound system seems recent with no issues reported.

HVAC: The four residential furnaces with natural gas heating and DX 410A refrigerant cooling are located in the basement of the church. These units were installed around 2006 and are nearing the end of their expected service life of 18 years. The associated air-cooled condensing unit is the same.

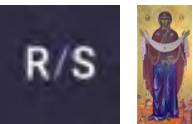
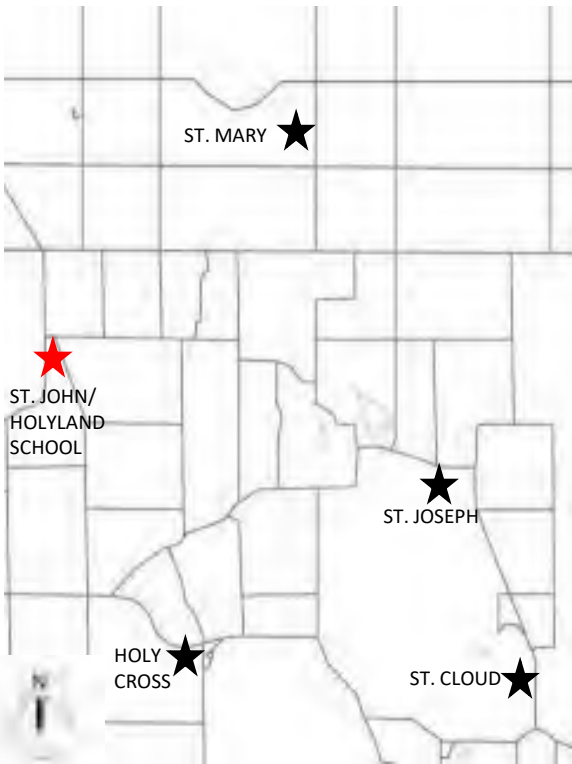
Plumbing: Domestic water system: Domestic water is supplied from a well that supports the school, church and rectory. The domestic water piping is a mixture of copper and galvanized pipe that is original to the building and is in fair to poor condition. Domestic hot water is supplied by an electric water heater that is in fair/poor condition. Waste and vent system: Is a combination of cast iron and PVC and is in good (PVC) to poor (C.I.) condition. Plumbing fixtures are in fair to poor condition but are not past their useful life.
- CURRENT USE:

Assembly – Nave, Support Spaces

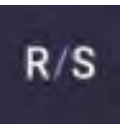
Storage – Storage Room

Mechanical – Equipment Room/Boiler Room
- PROGRAM FIT:

ADA Accessibility is needed throughout the building



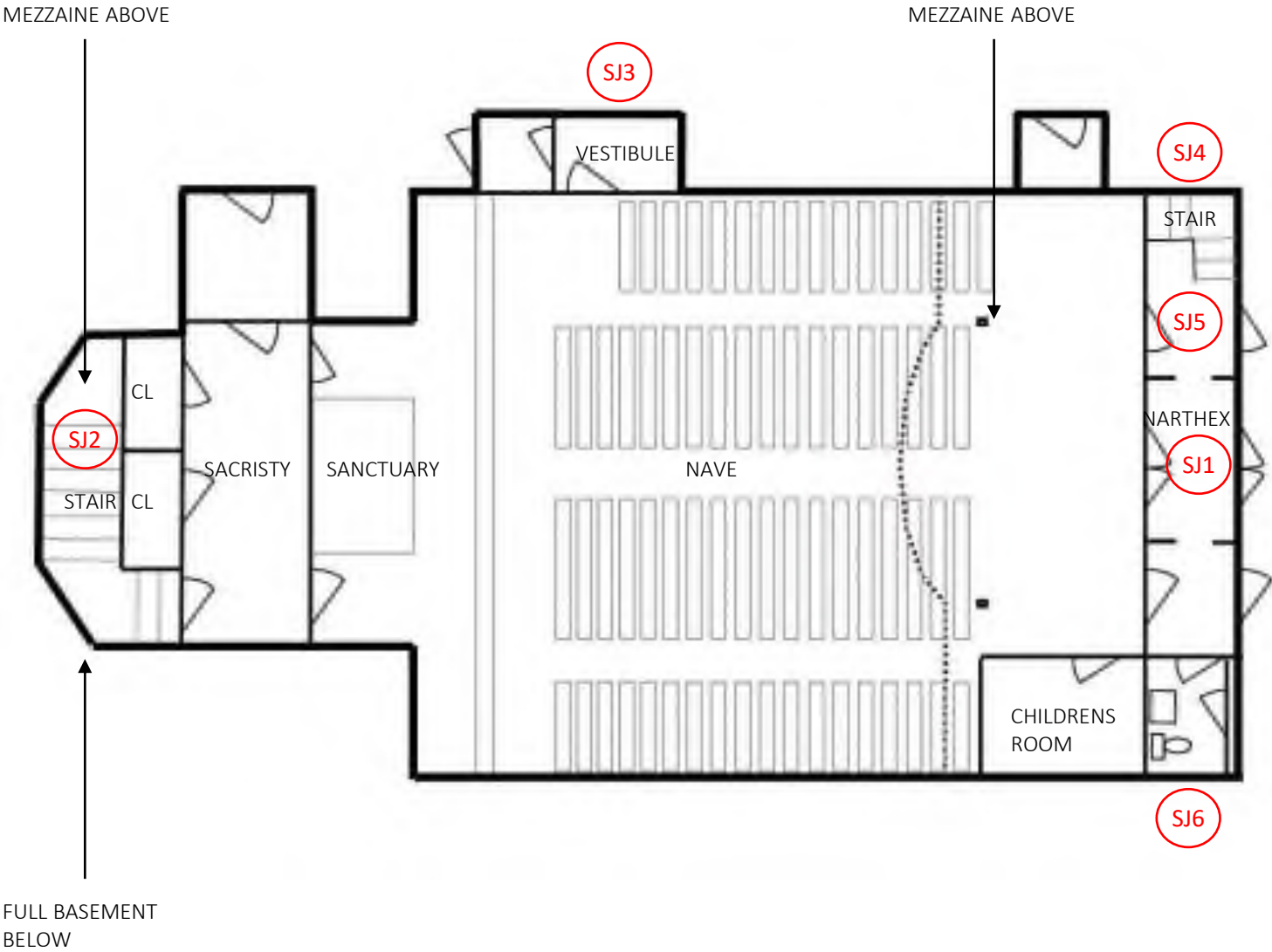
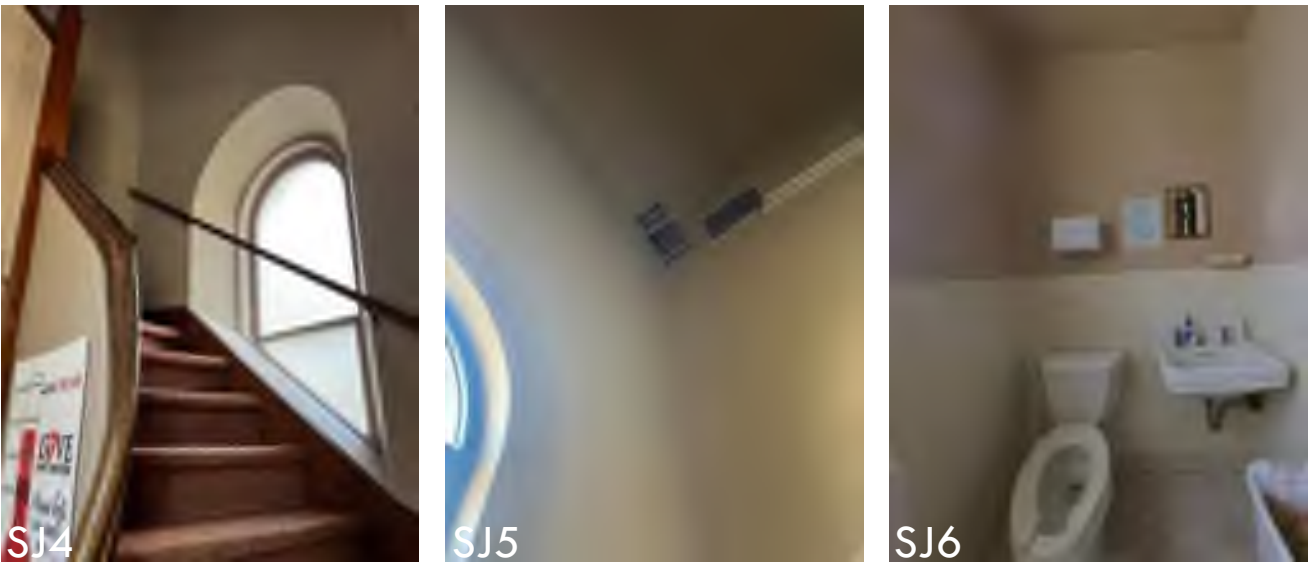
ROOF AGE:	Unknown (Original)
ROOF TYPE:	Slate Tile (Assumed Asbestos)
CONDITION:	Moderate
RECENT REPAIRS:	Wall flashing above vestibule
RECOMMENDED REPAIRS:	Additional flashing repairs needed in same area as listed under recent repairs
REMAINING LIFE:	5-7 Years



NOTES

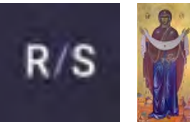


- SJ1 – Rotting in wood door trim.
- SJ2 – Cracking, missing plaster and water damage in both mezzanines.
- SJ3 – Doors in the vestibule are too close together for doors in a series. Door hardware is not compliant for egress.
- SJ4 – No ADA access to mezzanine, railings and guardrails are not compliant.
- SJ5 – Leak in ceiling, fixed bucket is currently in place that requires changing.
- SJ6 – Restroom is not ADA compliant, not enough fixtures for occupancy type.



**Plans are diagrammatic sketches and not to scale

FIRST FLOOR



NOTES



EXTERIOR



SJ7



SJ8



SJ9

- SJ7 – Paint is peeling at fascia, trim is missing and roof nails are showing.
- SJ8 & SJ9 – Significant weathering at door jambs and sills.
- SJ10 – Large gaps in masonry, tuckpointing is needed.
- SJ11 – Large gaps in masonry, tuckpointing is needed.
- SJ12 – Exterior wood door and jambs are showing significant weathering.



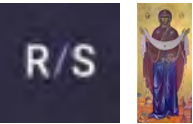
SJ10



SJ11



SJ12



FACILITIES ASSESSMENT – ST. JOHN RECTORY 3.4

CONSTRUCTION: Unknown

BUILDING AREA: 3,426 sq. ft. (Approx.) 2 Stories + Basement

STRUCTURE: Concrete foundation walls, wood stud, beams and joists

SYSTEMS: **Electrical:** This house is being used for offices. The majority of the wiring is original with a single panel of current manufacture. Lighting is mostly residential incandescent with some task lighting. No exit or emergency lighting.

HVAC: The natural gas-fired hot water boiler is located in the basement. The boiler has eight years remaining of the expected service life of 35. The associated pump has exceeded its expected service life of 20 years. This equipment and the piping system they serve are in poor condition.

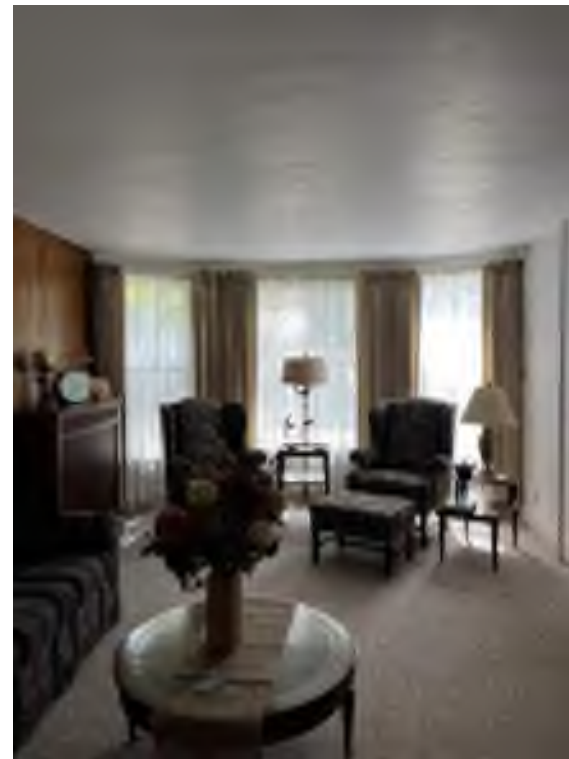
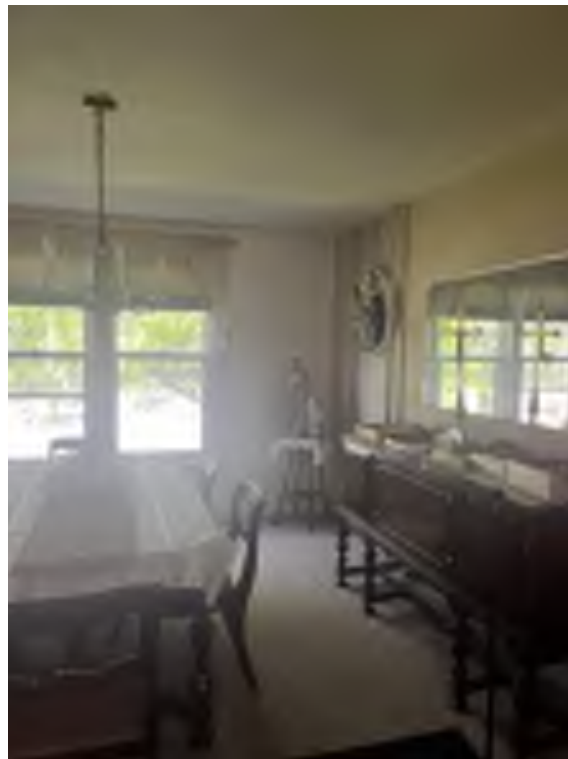
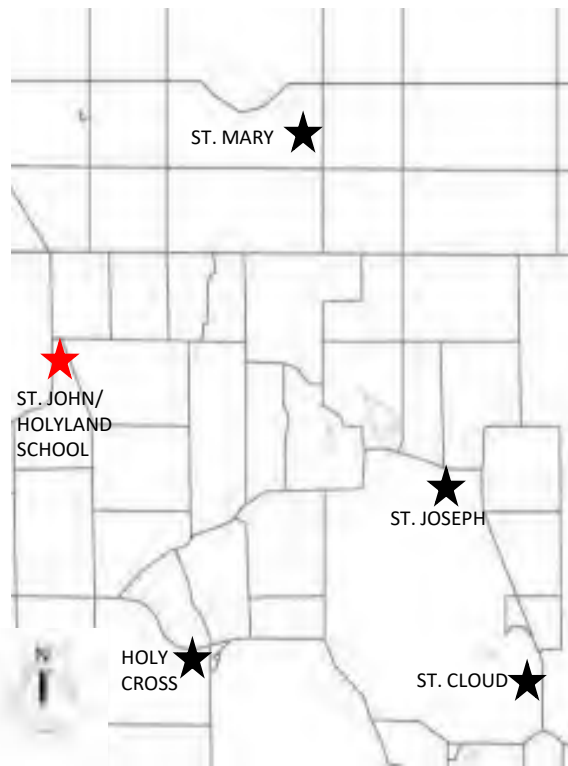
Plumbing: Domestic water system: Domestic water is supplied from a well that supports the school, church and rectory. The domestic water piping is a mixture of copper and galvanized pipe that is original to the and is in fair to poor condition. The water softener is in poor condition. Domestic hot water is supplied by an electric water heater that is in fair/poor condition. Waste and vent system: Is a combination of cast iron and PVC and is in good (PVC) to poor (C.I.) condition. Plumbing fixtures are in fair condition but are not past their useful life.

CURRENT USE: Residential – House

Business - Offices

PROGRAM FIT: Short term residences

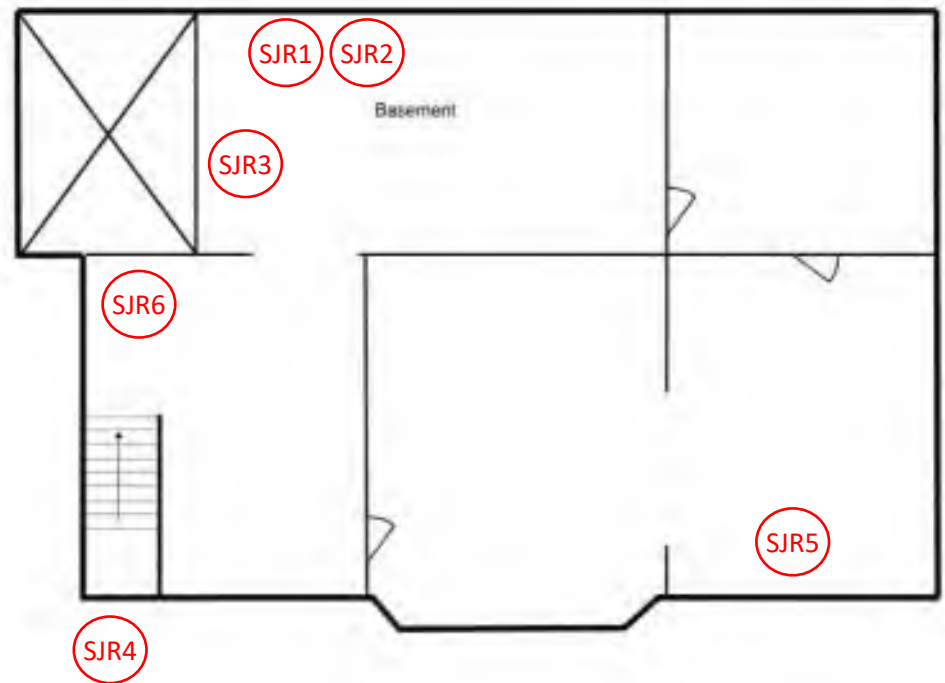
If building is used more frequently for offices, ADA accessibility should be explored.



ROOF AGE:	25-30 years old, garage is 15 + years old
ROOF TYPE:	Asphalt Shingles
CONDITION:	Moderate
RECENT REPAIRS:	Sections along southwest corner replaced due to wind damage
RECOMMENDED REPAIRS:	Exposed metal valleys rusting, Masonry on chimney in need of repair
REMAINING LIFE:	2-4 Years



NOTES



**Plans are diagrammatic sketches and not to scale

BASEMENT



SJR1



SJR2



SJR3

SJR1 – Foundation walls have significant staining and peeling paint.

SJR2 – Foundation walls have significant staining and peeling paint.

SJR3 – Foundation transitions have misc. holes that are daylight.

SJR4 – Existing plaster ceiling and stair has misc. cracking.

SJR5 – Vent to exterior is daylight, suggest insulating/patching.

SJR6 – Much of the paint has chipped to the floor, indicating moisture issue.



SJR4



SJR5



SJR6

R/S



NOTES

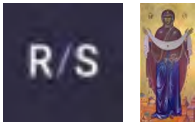


**Plans are diagrammatic sketches and not to scale

FIRST FLOOR



- SJR7 – Drain in garage is open, suggest adding a cover.
- SJR8 – Paint on wood is starting to peel.
- SJR9 – Brick in porch requires some tuckpointing.
- SJR10 – Bathroom is not ADA, sink has significant staining.
- SJR11 – Paint on wood in porch is significantly peeling in various locations.
- SJR12 – House is used for office purposes, access to the house is not ADA accessible.



NOTES

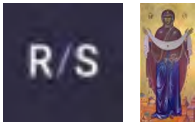


**Plans are diagrammatic sketches and not to scale

SECOND FLOOR



- SJR13 – Significant peeling & cracking at ceiling conditions.
- SJR14 – Significant peeling at plaster walls
- SJR15 – Significant peeling at plaster walls
- SJR16 – Significant bubbling at ceiling to wall transition.
- SJR17 – Significant peeling at ceiling conditions.
- SJR18 – Railing is not code compliant and is loose.



NOTES



EXTERIOR



SJR19



SJR20



SJR21

- SJR19 – Cracking at existing foundation. (various locations)
SJR20 – Downspout draining directly to foundation, reapply extension.
SJR21 – Significant rusting at garage door transition, door is peeling.
SJR22 – Siding is weathering in locations above overhangs.
SJR23 – Aluminum trim damaged at front entry.
SJR24 – Soffit missing in locations, existing wood is exposed.



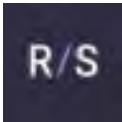
SJR22



SJR23



SJR24



NOTES



SITE



HL25 – Potholed asphalt near drainage structure.



HL26 – Fatigue cracking in asphalt.



HL27 – Ruts in asphalt from garbage truck.



HL28 – Significant asphalt deterioration at east entry.



HL29 – Retaining wall at rectory driveway has full depth cracks and leaning.



HL30 – Rubber mulch in playground completely worn to subgrade or at shallow depths.



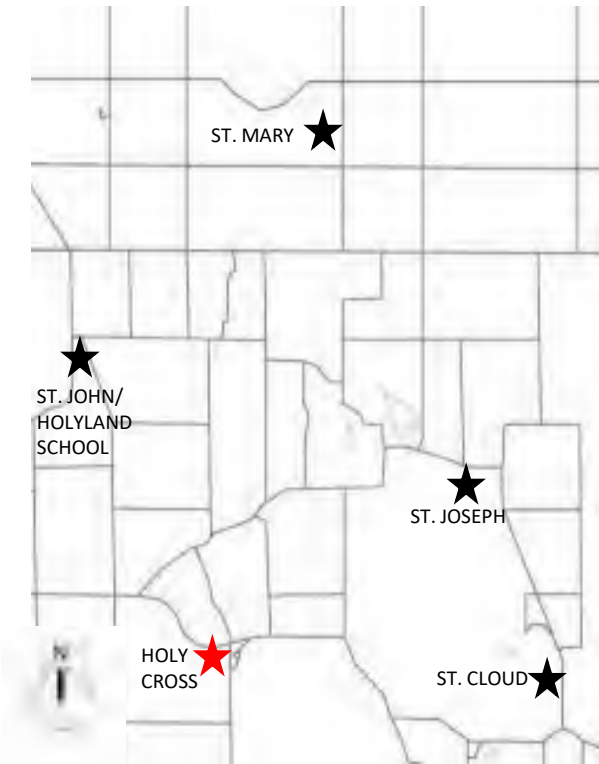
HL31 – Exposed playground equipment foundation.



HL32 – Fence post and mesh height different creating large gap at bottom of fence system.

FACILITIES ASSESSMENT – HOLY CROSS CHURCH 3.5

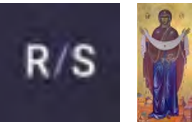
CONSTRUCTION:	1970
BUILDING AREA:	10,100 sq. ft. (Approx.) 1 Story
STRUCTURE:	Masonry walls, concrete floor, heavy timber/wood deck.
SYSTEMS:	<p>Electrical: Service panel and some branch panels are obsolete. A couple of panels are of current manufacture. Majority of the wiring is original. Only 1 unit battery unit/exit light for emergency lighting at the community room building exit. Interior lighting is incandescent in the church proper and the entry. The remainder is fluorescent. Exterior building mounted lighting is HID and pole mounted lighting is a mix of LED and HID. Sound system seems recent with no issues reported.</p> <p>HVAC: The air handling system appears to be in good condition but is nearing the end of the expected service life of 20 years. The associated DX refrigerant cooling system was replaced in 2003 and the R-22 refrigerant type used is no longer manufactured, but reconditioned refrigerant is available. The two natural gas fired boilers and associated pumps were replaced in 2015 and have about 15 years of expected service life remaining.</p> <p>Plumbing: Domestic water system: Domestic water is supplied from the municipal water system. The domestic water piping is copper pipe that is original to the building and is in good condition. Domestic hot water is supplied by a gas fueled water heater that is in excellent condition. Waste and vent system is PVC and is in good condition. Plumbing fixtures are in fair condition but are not past their useful life.</p>
CURRENT USE:	Assembly – Nave, Meeting room, Support Spaces Storage – Storage Room Mechanical – Equipment Room/Boiler Room
PROGRAM FIT:	Largely ADA compliant facility Larger gathering space/ community room present



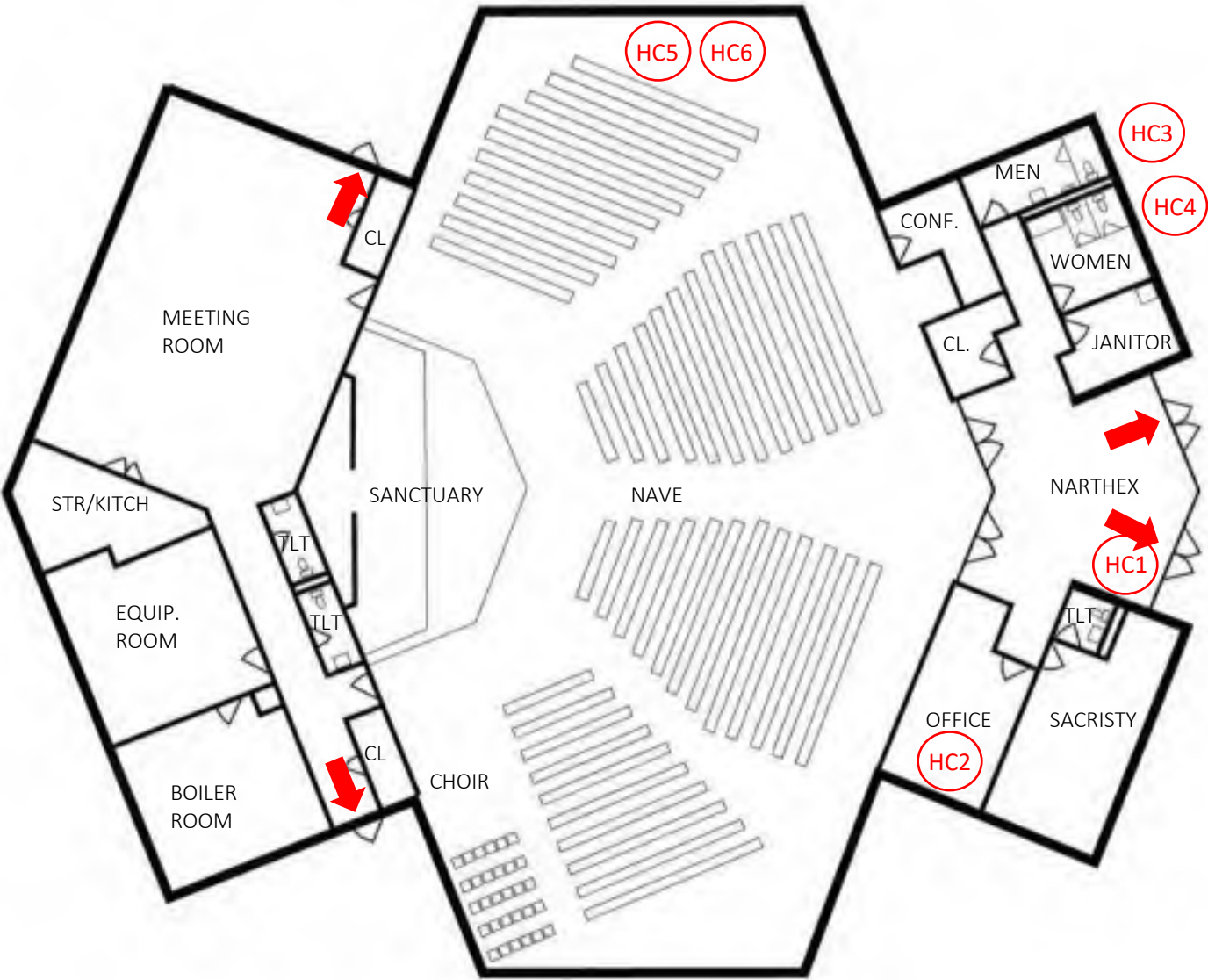


FACILITIES ASSESSMENT – HOLY CROSS CHURCH 3.5

ROOF AGE:	23 years old
ROOF TYPE:	Metal standing seam roof
CONDITION:	Good
RECENT REPAIRS:	None Noted
RECOMMENDED REPAIRS:	Loose gutter from likely ice sliding, missing snow guards at several areas, deteriorated masonry on chimney
REMAINING LIFE:	7-9 Years



NOTES



**Plans are diagrammatic sketches and not to scale

FIRST FLOOR



HC1



HC2



HC3

- HC1 - Vinyl base is separating from wall in entry locations.
- HC2 - Cracked caulking around window perimeter (various locations).
- HC3 - “Family”/Men’s restroom is not ADA, no ADA stall or proper grab bars are provided. ADA push clearance on door is not sufficient.
- HC4 - Women’s restroom has ADA clearance. Proper sink clearance & ADA stall is not provided.
- HC5/HC6 - Cracking seals and mildew buildup on stained glass.



HC4



HC5



HC6

NOTES



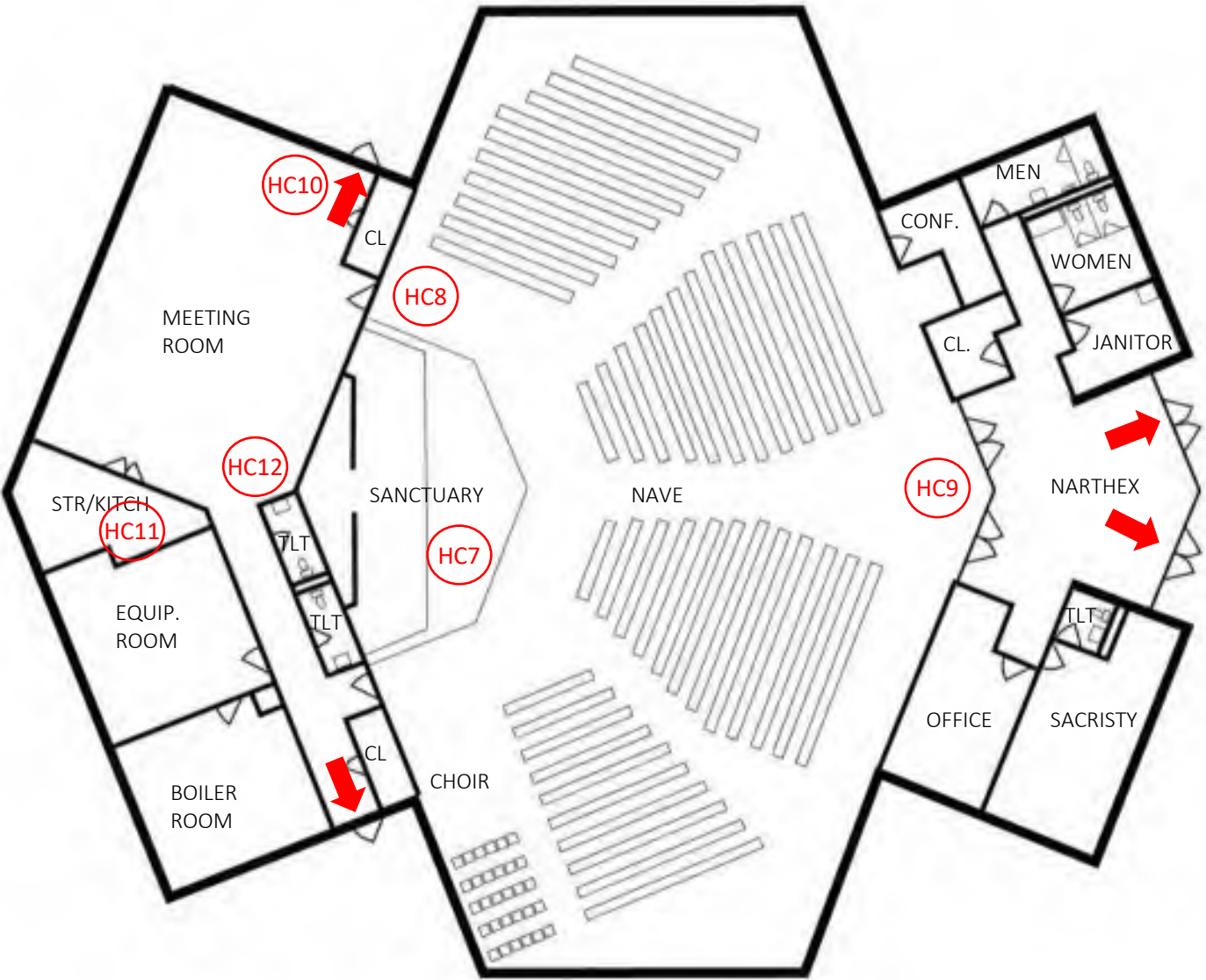
HC7 - ADA ramp is not provided at sanctuary, not a code issue but something to note for older congregation members.

HC8/HC9 - Exit signage is not provided at any doors in the Nave.

HC10 – Rust/Weathering is present at exterior door jambs. (Various Locations)

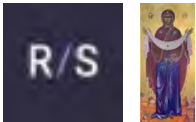
HC11 - Kitchenette is not ADA.

HC12 - Toilet rooms off meeting room are not ADA.



**Plans are diagrammatic sketches and not to scale

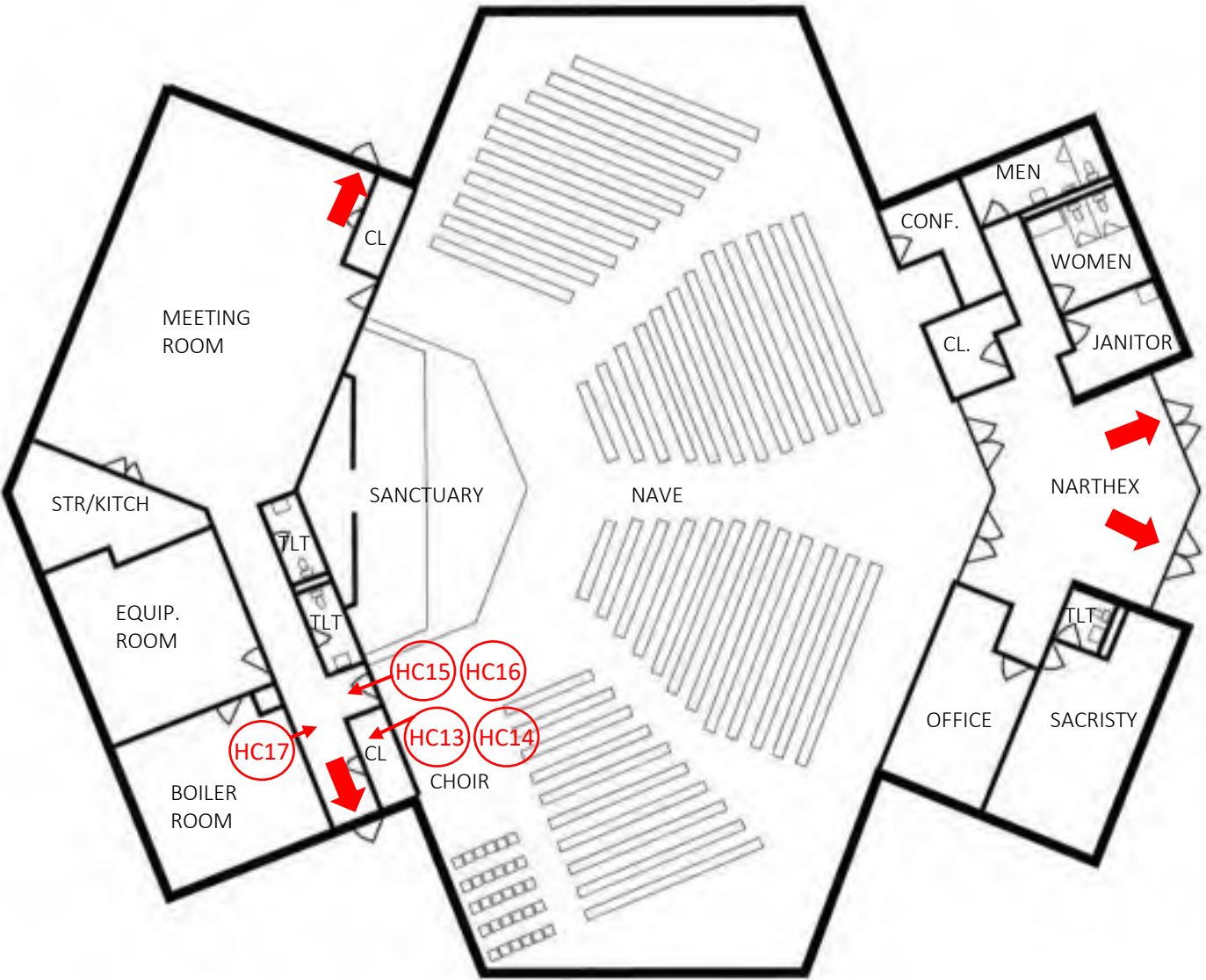
FIRST FLOOR



NOTES



- HC13 - Staining along back closet wall.
- HC14 - Missing electrical faceplate along back closet wall.
- HC15 – Significant staining in ceiling tile.
- HC16- Staining on deck and structure above HC15. Leak did not look to be active.
- HC17 - Slight staining in corridor ceiling tile.



**Plans are diagrammatic sketches and not to scale

FIRST FLOOR

NOTES



EXTERIOR



- HC18 – No exit device hardware at exterior/interior entries.
- HC19 - Gap at brick to soffit transition.
- HC20 - Cracking at exterior window sealant.
- HC21- Significant gap at door transition.
- HC22 - Foundation is overall is good shape, minimal cracking.
- HC23 - Caulking at gutter transition needs replacement.



FACILITIES ASSESSMENT – HOLY CROSS RECTORY3.6

- CONSTRUCTION:

Unknown
- BUILDING AREA:

2,190 sq. ft. (Approx.) 1 Story + Basement
- STRUCTURE:

Masonry foundation walls, wood stud, beams and joists
- SYSTEMS:

Electrical:

This is a house being used for offices. Lower level is used for small groups. The single panel is of current manufacture. The majority of the wiring is likely original, but some has been replaced. Lighting is mostly residential incandescent with some task lighting. Unit battery/exit lighting in basement at start of stairs but nothing on the stairs proper. Exterior lighting is incandescent on the building with 2 HID bollards lighting the sidewalk from the church parking lot to the building.

HVAC:

The residential natural gas fired furnace with DX refrigerant cooling and associated outdoor condensing unit was replaced in 2005 and appears to be in good condition but is nearing the end of the expected service life of 18 years. The R-22 refrigerant type used is no longer manufactured, but reconditioned refrigerant is available.

Plumbing:

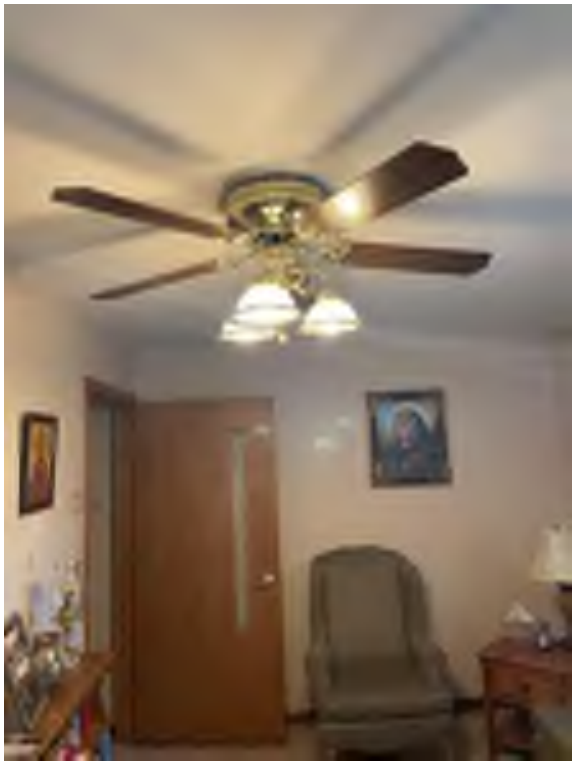
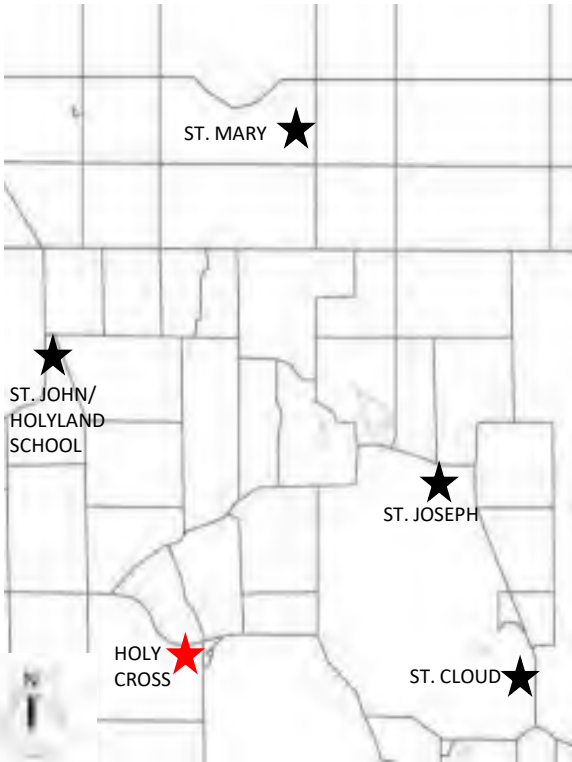
Domestic water system: Domestic water is supplied from the municipal water system. The domestic water piping is a mixture of copper and galvanized pipe that is original to the building and is in fair to poor condition. The water softener is in poor condition. Domestic hot water is supplied by an electric water heater that is in fair/poor condition. Waste and vent system: a combination of cast iron and PVC and is in good (PVC) to poor (C.I.). Plumbing fixtures are in fair condition but are not past their useful life.
- CURRENT USE:

Business - Offices

Assembly – Meeting Spaces
- PROGRAM FIT:

Dedicated community space

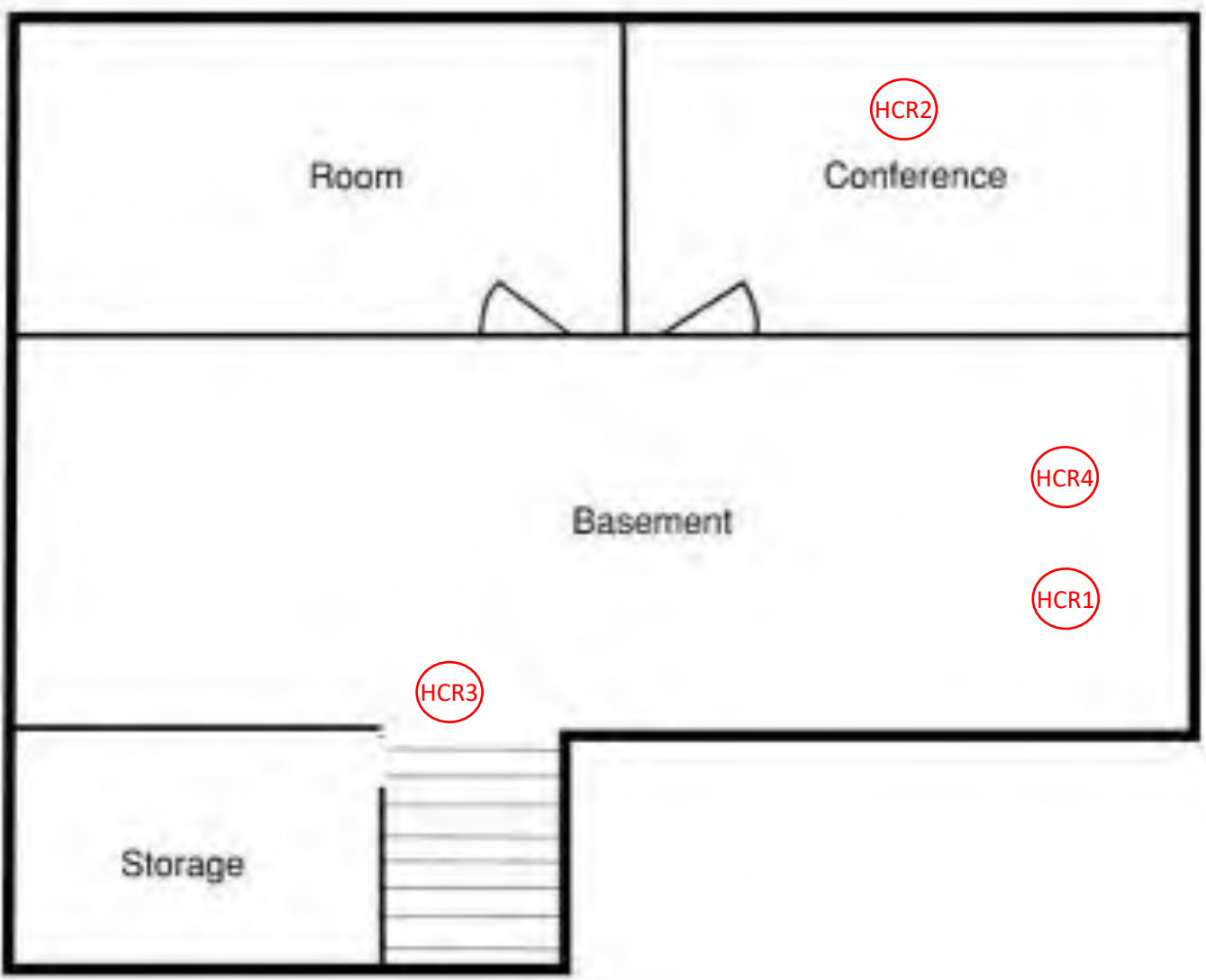
ADA compliant bathrooms



ROOF AGE:	18 years old
ROOF TYPE:	Asphalt Shingles
CONDITION:	Good
RECENT REPAIRS:	None Noted
RECOMMENDED REPAIRS:	No issues
REMAINING LIFE:	6-8 Years



NOTES



**Plans are diagrammatic sketches and not to scale

BASEMENT



HC1



HC2



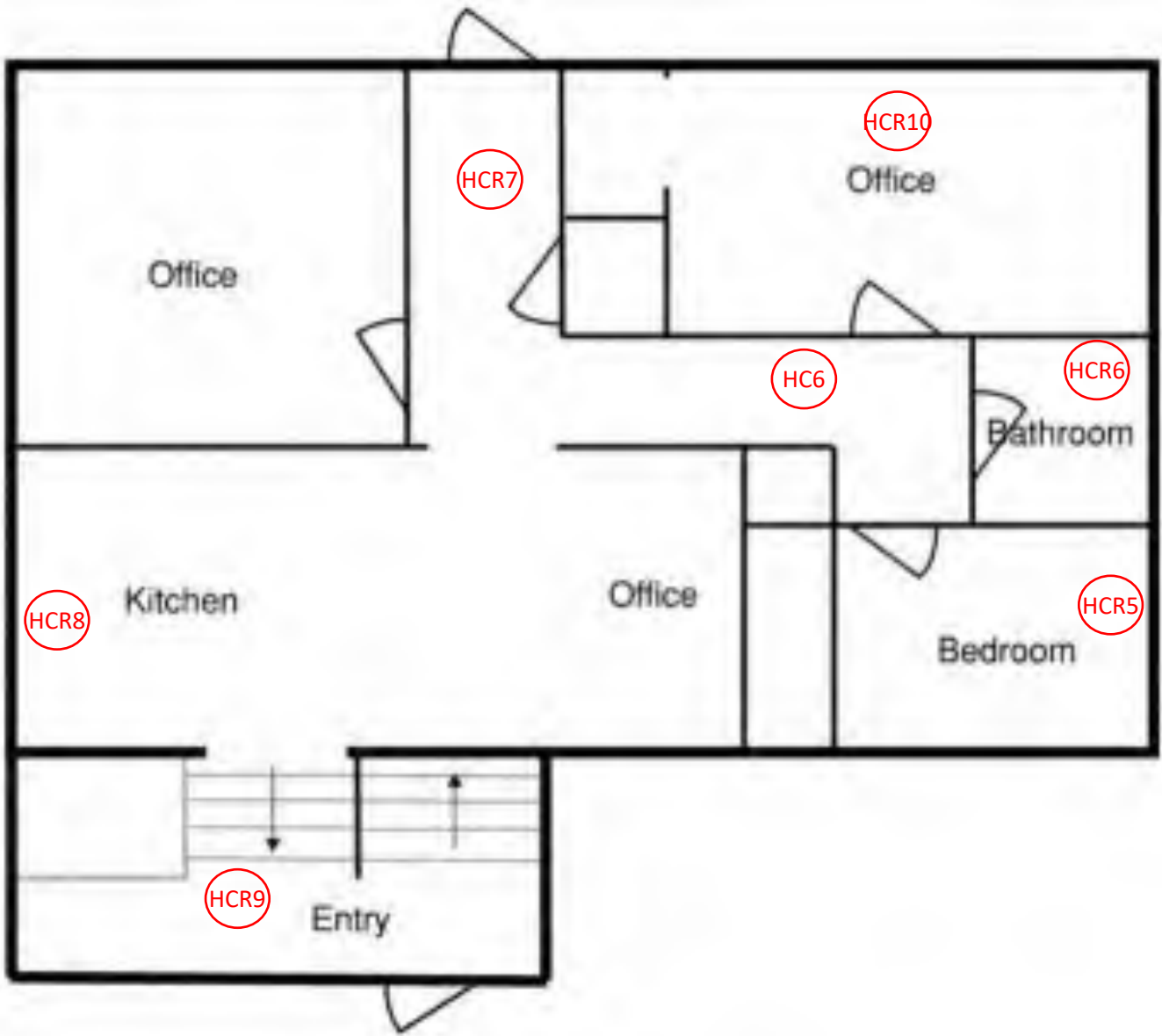
HC3

- HCR1 – Floor staining around drain, HVAC water pipe is not draining directly to the drain
- HCR2 – Conferencing space in lower level, not ADA accessible.
- HCR3 – Stair railing is not continuous.
- HCR4 – Cracking at exterior foundation wall.



HC4

NOTES



**Plans are diagrammatic sketches and not to scale

FIRST FLOOR



HCR5



HCR6



HCR7

- HCR5 – Cracking in the storm window
- HCR6 – Restroom is not ADA compliant
- HCR7 – Copier is in tight location, does not have proper ventilation
- HCR8 – Kitchen is not ADA compliant
- HCR9 – No ADA access into the rectory
- HC10 – Windows are wood/vinyl single pane, may be near end of useful life.



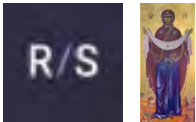
HCR8



HCR9



HCR10



NOTES



EXTERIOR



HCR11



HCR12



HCR13

HCR11 – Vinyl siding in good condition, tuckpointing needed at CMU.
HCR12 – Single pane basement windows are peeling and may be past useful life.
HCR13 – Garage entry door is peeling at narrow lite window.
HCR14 – Garage CMU base is chipping at locations.



HCR14

NOTES



SITE



HC24



HC25



HC26

HC24 – Missing ADA post signs.

HC25 – Debris and pavement deterioration at asphalt low point. Drainage pipe clogged.

HC26 – Asphalt edge cracking and minor rutting from parking vehicles.

HC27 – Asphalt deterioration at north entrance.

HC28 – Asphalt deterioration at northeast entrance.

HC29 – Asphalt deterioration at southeast entrance.



HC27



HC28



HC29

R/S



FACILITIES ASSESSMENT – ST. CLOUD CHURCH 3.7

- CONSTRUCTION:

1905, Sacristy Addition 1911
- BUILDING AREA:

11,709 sq. ft. (Approx) 1 Story + Mezzanine & Basement
- STRUCTURE:

Stone foundation walls, wood beams and joists.
- SYSTEMS:

Electrical: Service is a series of obsolete disconnect switches which supply various panels in the church. Some of these disconnect switches and one panel in the basement lack code required working clearances in front of them. The branch panels are a mix of obsolete and current manufacture. Majority of the wiring is original. The building has lightning protection that should be reviewed to confirm still is fully functional. Only the lower level has limited unit battery/exit lights for emergency lighting. No emergency or exit lighting in the church proper. Interior lighting appears to still be incandescent. Exterior is HID on poles or building mounted. Sound system seems recent with no issues reported.

HVAC: The basement steam boiler is natural gas fired and ten years into its expected service life of 35 years and is in good condition. The associated condensate pump is of the same age, is in good condition and nearing the end of its expected service life of 15 years. The steam cast iron radiators serving some spaces have an estimated surface temperature of 200 deg F, which exceeds a recommended maximum of 120 deg F. The building is air conditioned by four ductless split systems utilizing DX 410A refrigerant and consisting of outdoor wall-hung condensing units with indoor wall-hung fan-coil units. These recently replaced units have the full 15 years remaining of their expected service life.

Plumbing: Domestic water system: Domestic water is supplied from a municipal line. The domestic water piping is a mixture of copper and galvanized pipe that is original to the building and is in fair to poor condition. Domestic hot water is supplied by an electric water heater that is in great condition. Waste and vent system: a combination of cast iron and PVC is in good (PVC) to poor (C.I.). Plumbing fixtures are in fair to poor condition but are not past their useful life. Sewer is discharged to a municipal line.
- CURRENT USE:

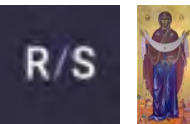
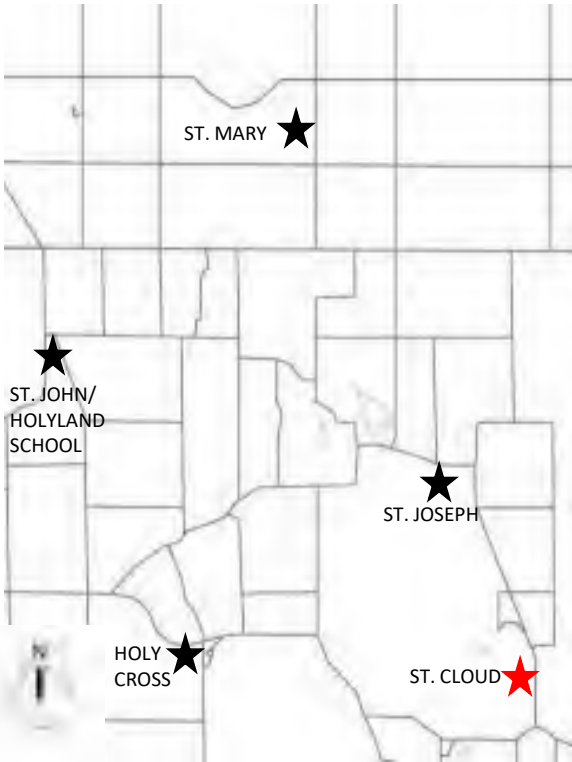
Assembly – Nave, Meeting room, Support Spaces

Storage – Storage Room

Mechanical – Equipment Room/Boiler Room
- PROGRAM FIT:

Dedicated community/meeting space

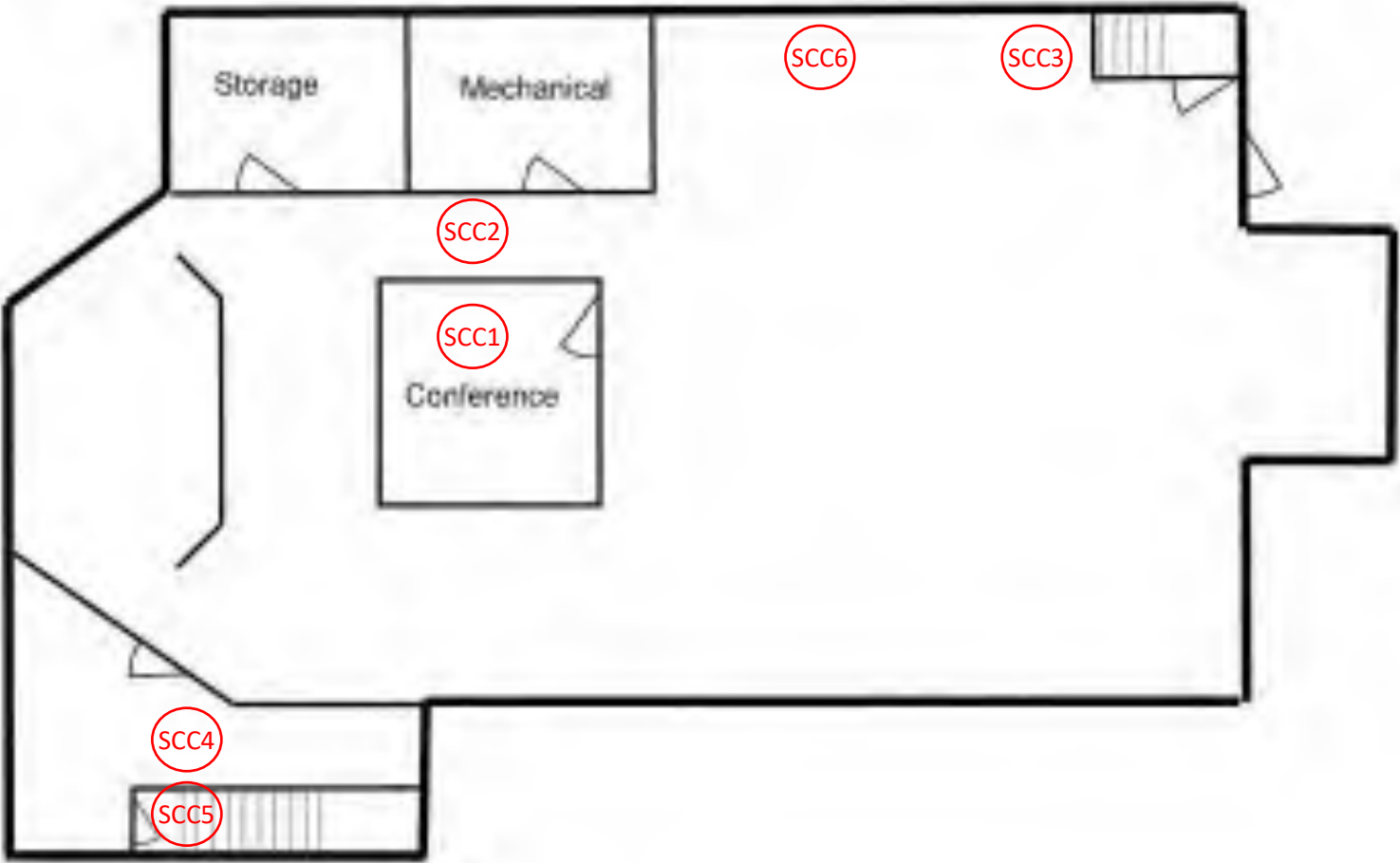
ADA compliant bathrooms



ROOF AGE:	21 years old
ROOF TYPE:	Asphalt Shingle
CONDITION:	Moderate
RECENT REPAIRS:	None Noted
RECOMMENDED REPAIRS:	Some granule loss and cracks on shingles on south elevation, deteriorated masonry at bell tower and west walls
REMAINING LIFE:	5-7 Years



NOTES



**Plans are diagrammatic sketches and not to scale

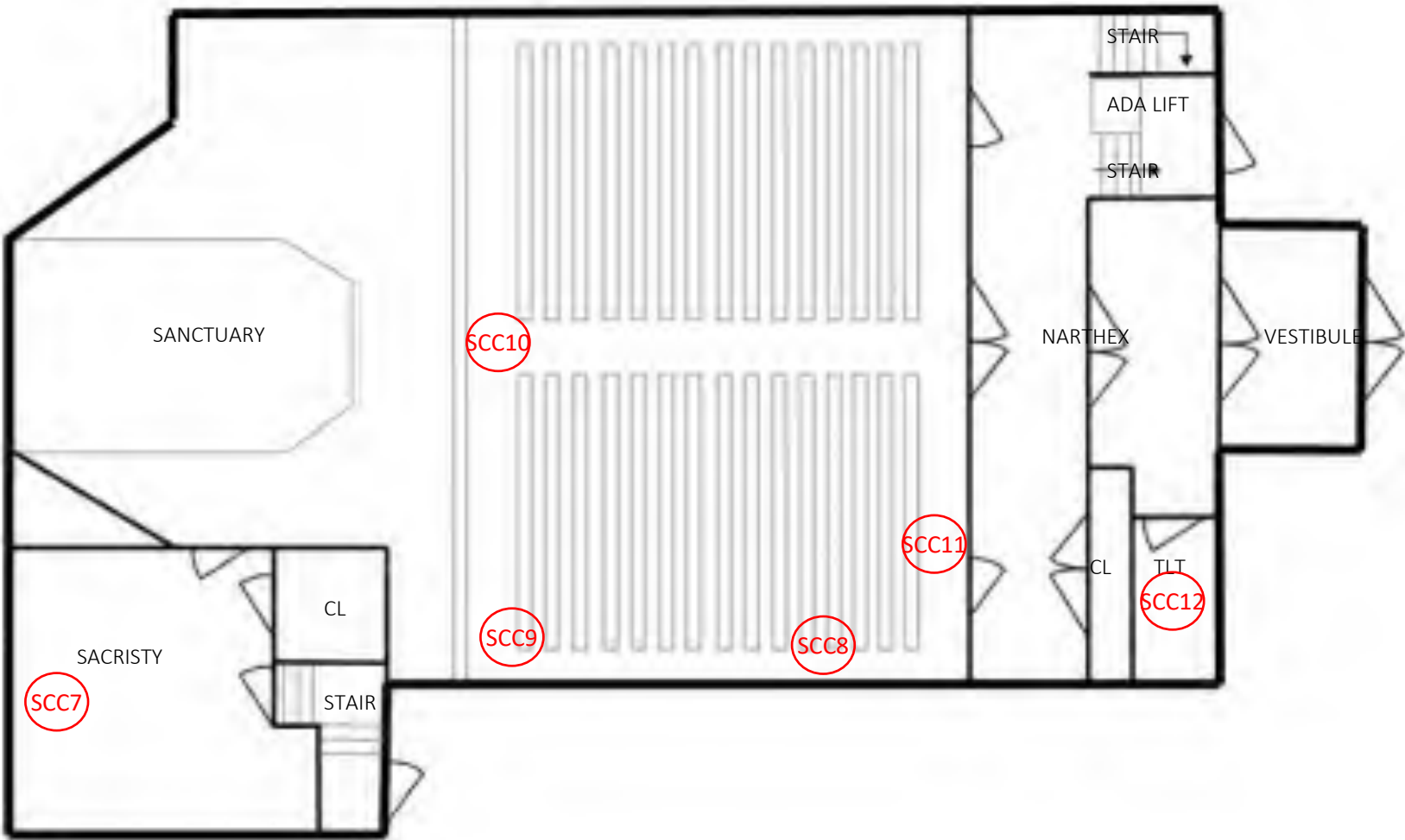
BASEMENT



- SCC1 – Gathering/Meeting space in basement, exit signs are at exit and two exits are provided, no ADA accessibility. (Not a code requirement)
- SCC2 – Mechanical room has rated door, walls are not of rated construction.
- SCC3 – ADA access is not provided to the lower level.
- SCC4 – Burn marks appear to be on the wall near stored candles.
- SCC5 – Plaster is chipping at exterior foundation wall.
- SCC6 – Caulking needed at some exterior windows.



NOTES



**Plans are diagrammatic sketches and not to scale

FIRST FLOOR



SCC7



SCC8



SCC9

- SCC7 – Cracking in the glass of single pane wood window.
- SCC8 – Chipping/cracking at stained glass window jambs
- SCC9 – Exit sign is provided above egress door, sign is not illuminated
- SCC10 – ADA ramp is not provided at sanctuary, not a code issue but something to note for elderly congregation members.
- SCC11 – Salt/staining at tile floor
- SCC12 – Restroom is not ADA compliant.



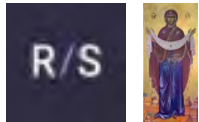
SCC10



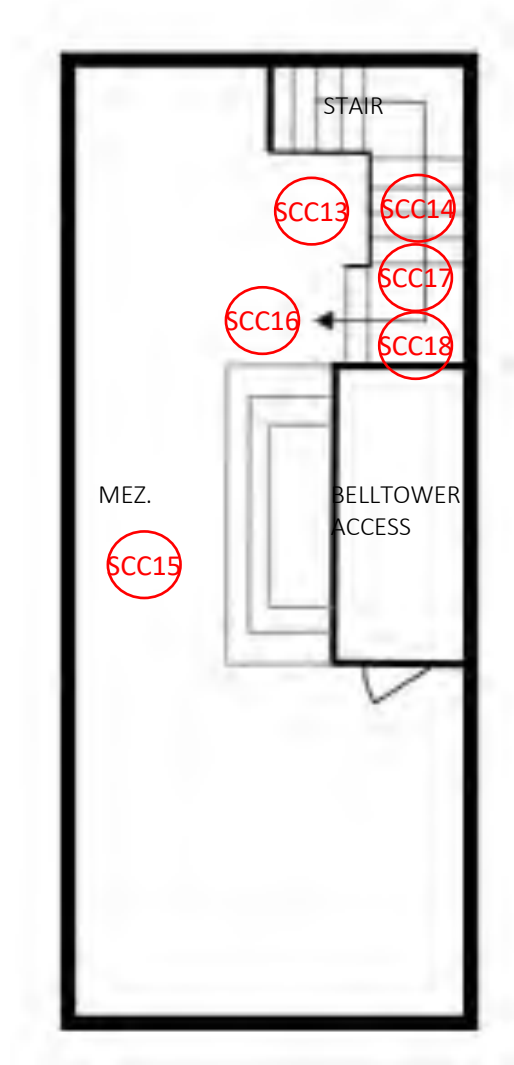
SCC11



SCC12



NOTES

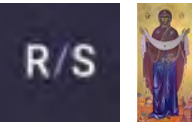


SCC13 & SCC14 – Railing only provided at one side of stair
SCC15 – Guardrail is not code compliant
SCC16 – Mezzanine Occupancy is limited to 29, current provided seats may be higher than allowed occupancy.
SCC17 & SCC18– Cracking at window sills



**Plans are diagrammatic sketches and not to scale

MEZZANINE



NOTES



EXTERIOR



SCC19 – Large areas of masonry at belltower need tuckpointing.



SCC20 – Metal coping is rusting at locations.



SCC21 – Wood trim at lower windows is gapping at locations.

SCC22 – Tuckpointing at lower brick in various locations, some loose bricks are on the ground.

SCC23 – Storm windows are cracked in some locations.

SCC24 – Loose stone is on the ground at the base.



FACILITIES ASSESSMENT – ST. CLOUD RECTORY 3.8

CONSTRUCTION: Unknown

BUILDING AREA: 4,285 sq. ft. (Approx.) 2 Stories + Basement

STRUCTURE: Concrete foundation walls, wood stud, beams and joists

SYSTEMS:

Electrical: The single panel is of current manufacture. The wiring is a mix of original and updated. Lighting is mostly residential incandescent with some task lighting. No exit or emergency lighting.

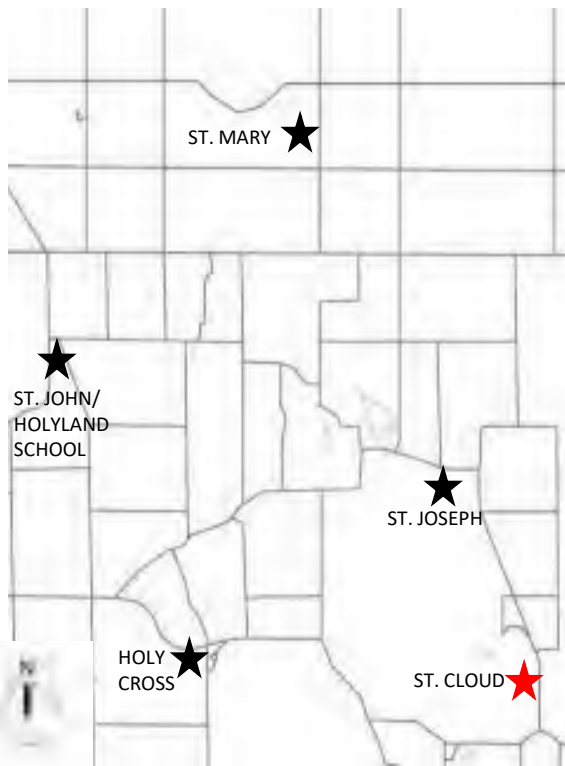
HVAC: The natural gas-fired hot water boiler is located in the basement. The boiler has 20 years remaining of the expected service life of 35. The associated pump is near the end of its expected service life of 20 years. The piping system they serve is in poor condition.

Plumbing: Domestic water system: Domestic water is supplied from a municipal line. The domestic water piping is a mixture of copper and galvanized pipe that is original to the building and is in fair to poor condition. Domestic hot water is supplied by an electric water heater that is in great condition. Waste and vent system: Is a combination of cast iron and PVC and is in good (PVC) to poor (C.I.). Plumbing fixtures are in fair to poor condition but are not past their useful life. Sewer is discharged to a municipal line.

CURRENT USE: Residential – House

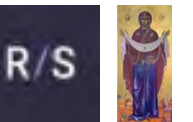
PROGRAM FIT: Short term residences

If building is used more frequently for offices ADA accessibility should be explored.





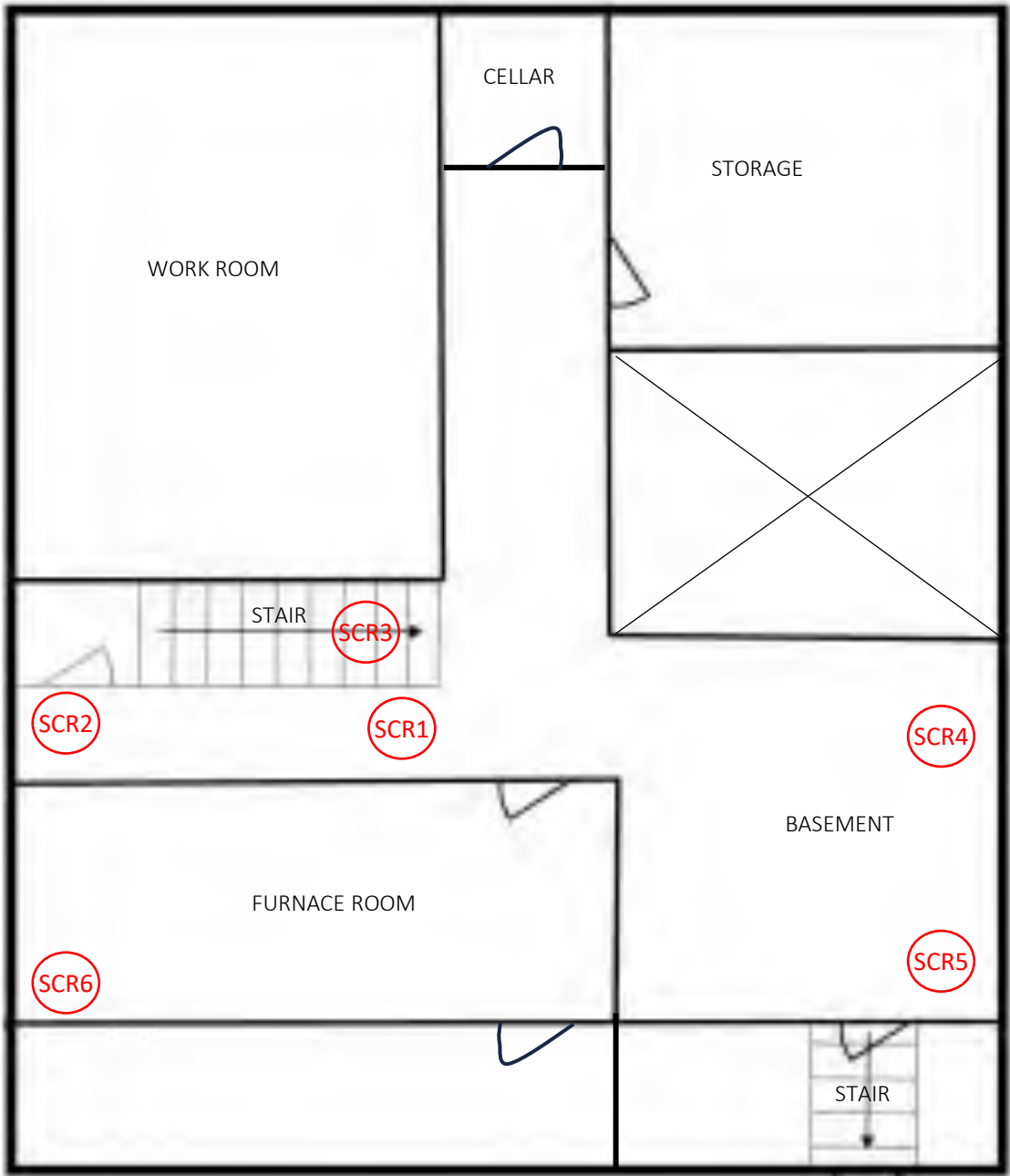
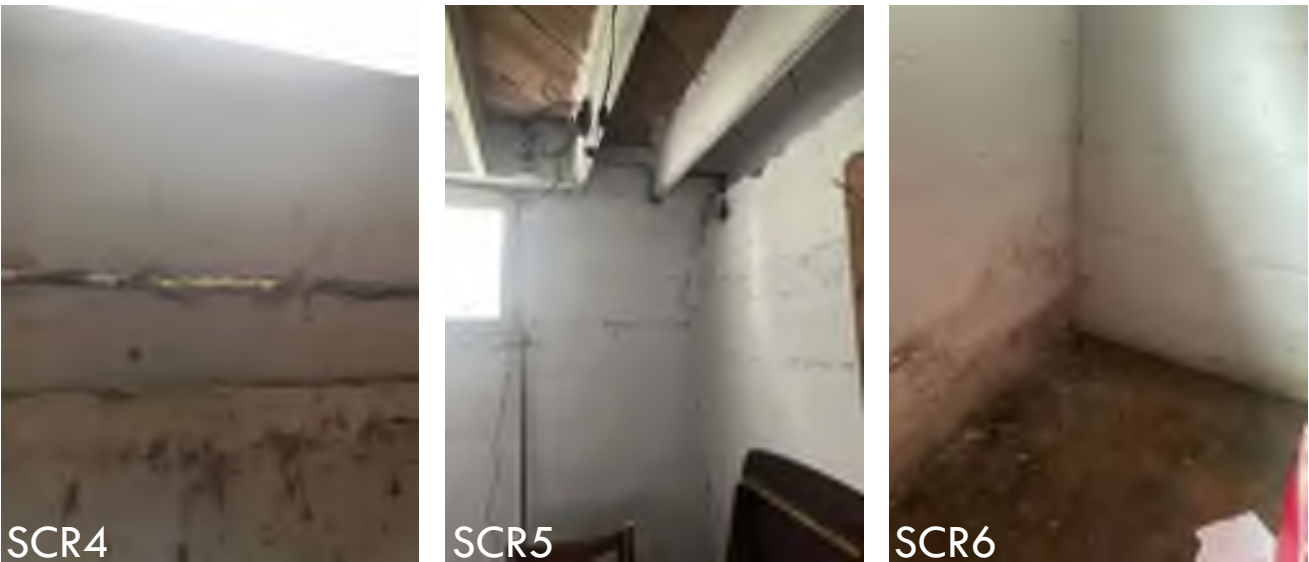
ROOF AGE: 28 years old
ROOF TYPE: Asphalt Shingle
CONDITION: Good
RECENT REPAIRS: None Noted
RECOMMENDED REPAIRS: No issues
REMAINING LIFE: 5-7 Years



NOTES

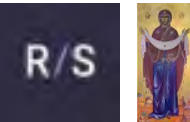


- SCR1 – Beams are not properly secured to existing pipe shoring.
- SCR2 – Cracking along exterior wall.
- SCR3 – No railing at exposed side of stair, cracking/plaster missing.
- SCR4 – Gaps in existing windows, may be past useful life.
- SCR5 – Cracking in corners at foundation wall
- SCR6 – Water damage at foundation, not wet at time of site visit.

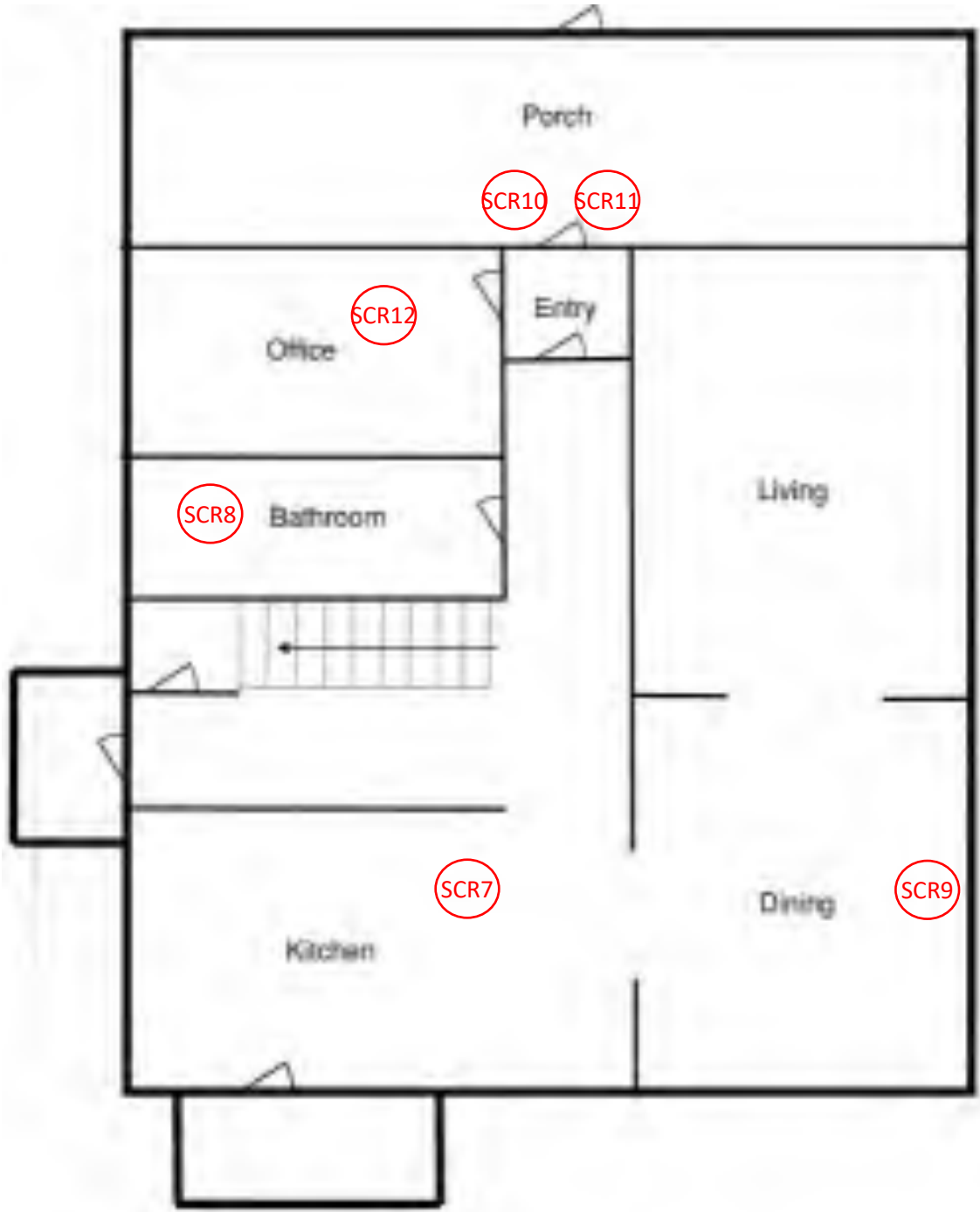


**Plans are diagrammatic sketches and not to scale

BASEMENT



NOTES



**Plans are diagrammatic sketches and not to scale

FIRST FLOOR



SCR7



SCR8



SCR9

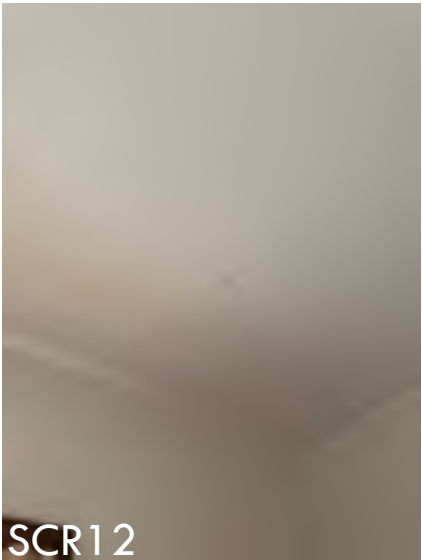
- SCR7 – Cracking at ceiling plaster
- SCR8 – Rusting on electric baseboard, restroom is not code compliant.
- SCR9 – Interior window sill has some weathering/water damage. May have been from previous windows. Windows are new and in good condition.
- SCR10 – Door to patio has metal trim protruding into the opening.
- SCR11 – Paint is peeling at exterior door jamb
- SCR12 – Cracking at ceiling plaster



SCR10



SCR11



SCR12

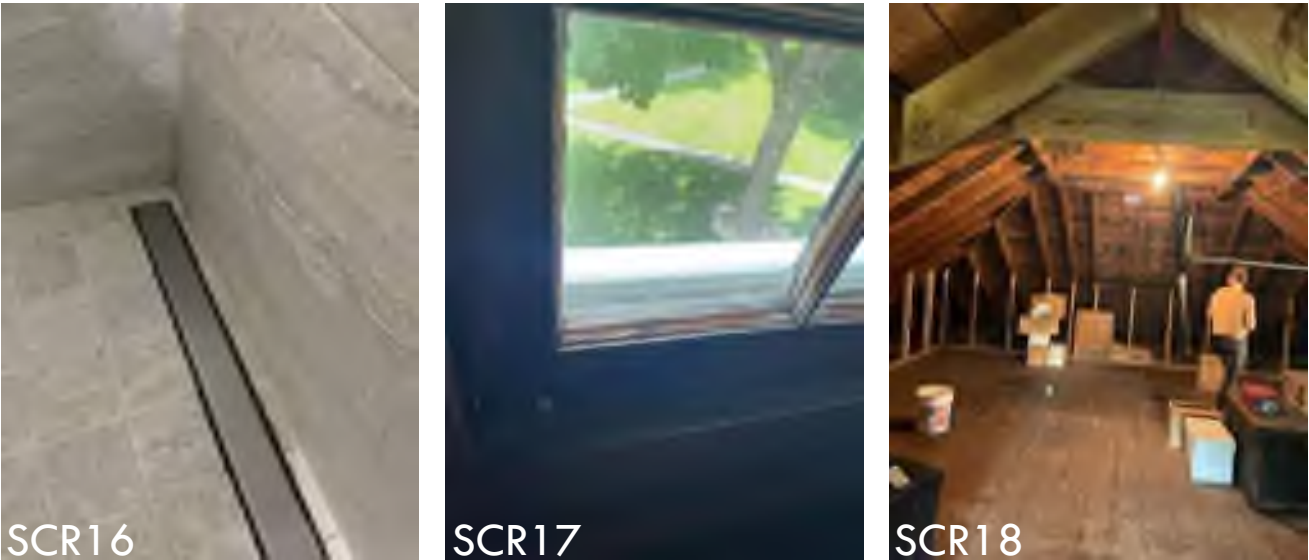
R/S



NOTES



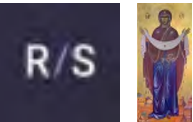
- SCR13 – Chipping paint at ceiling.
- SCR14 – Cracking at ceiling transition.
- SCR15 – No railing at balcony, door should be sealed.
- SCR16 – Mildew build up at corners of tile.
- SCR17 – Attic – Rotting at window muttons.
- SCR18 – Attic – Water damage on wood decking, may have been from previous roof.



Attic → SCR17 SCR18

**Plans are diagrammatic sketches and not to scale

SECOND FLOOR



NOTES



EXTERIOR



SCR19



SCR20



SCR21

- SCR19 – Chipping at concrete window sill.
- SCR20 – Door threshold is weathered and rotted.
- SCR21 – Gap at underside of soffit.
- SCR22 – Exposed wood decking at roof, open penetration.
- SCR23 – Peeling at basement windows.
- SCR24 – Peeling/cracking at concrete transition.



SCR22



SCR23



SCR24

NOTES



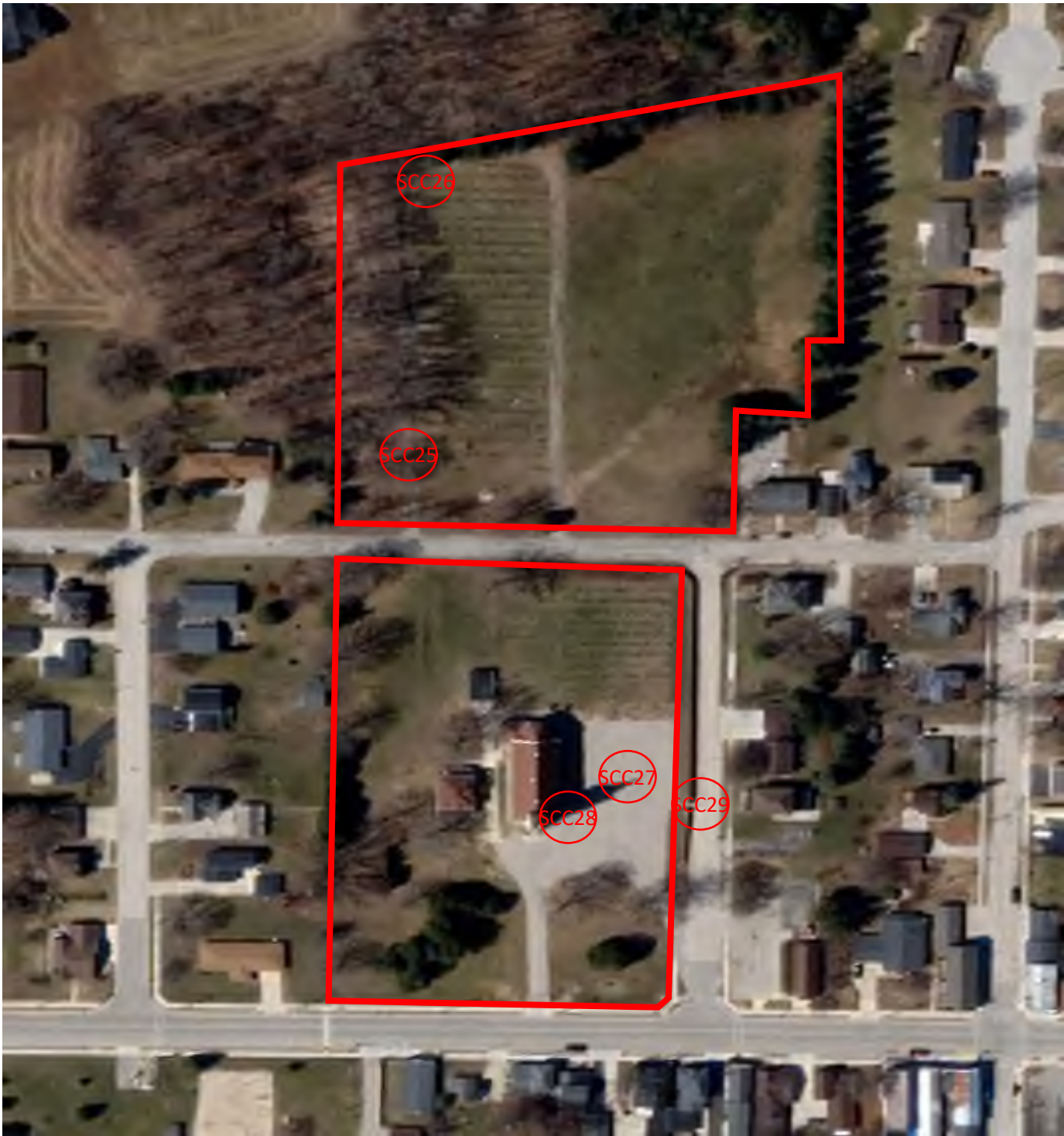
EXTERIOR



- SCR25 – Broken glass at storm window,
- SCR26 – Cracking at corner transition.
- SCR27 – Misalignment & cracking at foundation.
- SCR28 – Peeling/weathering at entry stair. Door swing overlaps with railing.
- SCR29 – Rotting/peeling at garage trim.
- SCR30 – Holes in siding and FRP at garage.



NOTES



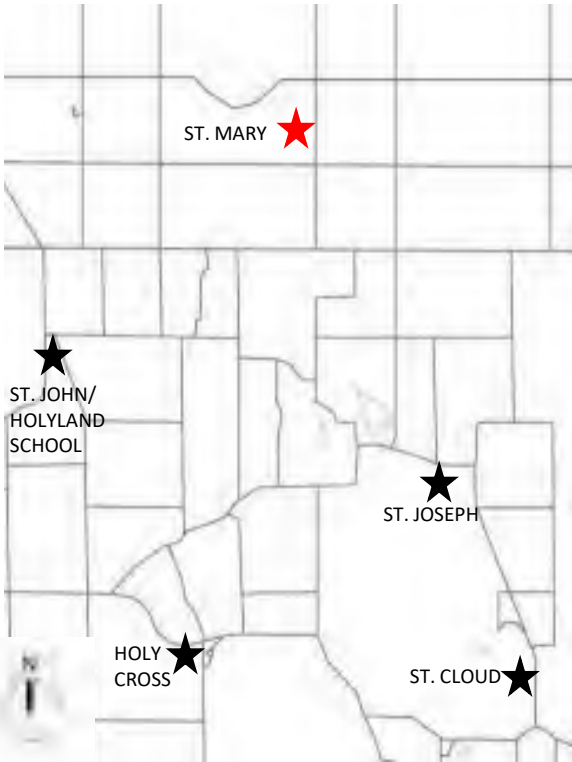
SITE



- SCC25 – Significant fatigue cracking and deteriorating asphalt.
- SCC26 – Deep rutting and fatigue cracking.
- SCC27 – Faded parking striping.
- SCC28 – No ADA post mounted signs for designated ADA parking stalls.
- SCC29 – Railing does not meet fall protection code.



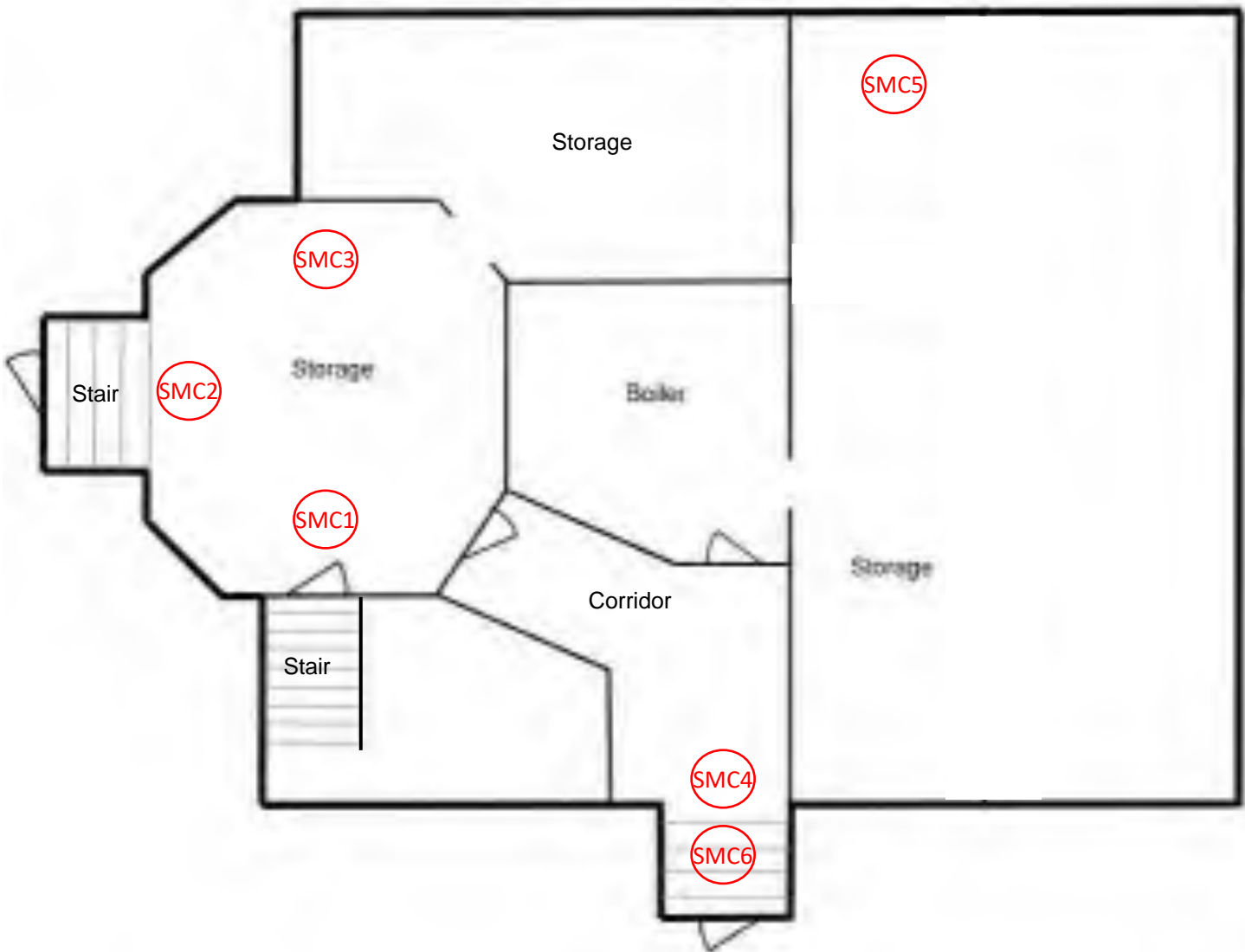
CONSTRUCTION:	1897
BUILDING AREA:	15,405 sq. ft. (Approx) 1 Story + Mezzanine & Basement
STRUCTURE:	Stone foundation walls, wood beams and joists.
SYSTEMS:	<p>Electrical: Service panel is the only panel and is of current manufacture. It appears that the wiring was upgraded in the late 1970's or early 1980's. The building has lightning protection that should be reviewed to confirm still is fully functional. There are unit battery exit lights at the rear exits of the church but no emergency egress lighting. Interior lighting appears to still be incandescent. Exterior is HID on poles or building mounted. Additionally, there are 2 large poles with an HID fixture to highlight the steeple. Sound system seems recent with no issues reported.</p> <p>HVAC: The natural gas-fired hot water boilers are located in the basement. The boilers have their full expected service life of 35 remaining. The associated pumps also have their full expected service life of 20 years remaining. The piping throughout the church is deficient of energy-saving insulation.</p> <p>Plumbing: Domestic water system: Domestic water is supplied from a well. The domestic water piping is a mixture of copper and galvanized pipe that is original to the building and is in fair to poor condition. The water softener is in good condition. Domestic hot water is supplied by an instantaneous water heater and is in excellent condition. Waste and vent system is a combination of cast iron and PVC and is in good (PVC) to poor (C.I.) condition. Plumbing fixtures are in fair condition but are not past their useful life. The church appears to be on a septic system, which should be inspected in the near future.</p>
CURRENT USE:	Assembly – Nave, Support Spaces Storage – Storage Room Mechanical – Equipment Room
PROGRAM FIT:	ADA compliant bathrooms



ROOF AGE: 5 years old
ROOF TYPE: Asphalt Shingle
CONDITION: Good
RECENT REPAIRS: None Noted
RECOMMENDED REPAIRS: Downspout missing on southwest corner of sanctuary, loose metal flashing at north side of bell tower, loose copper seams along outer edge of gutter.
REMAINING LIFE: 20+ Years



NOTES



**Plans are diagrammatic sketches and not to scale

BASEMENT



SMC1 – Stair is not code compliant, exit is not in appropriate location, exit sign does not lead to exterior.



SMC2 – Cracking/peeling at exterior foundation wall.



SMC3 – Missing ceiling/water damage at ceiling.

SMC4 – Gaps at exterior door.



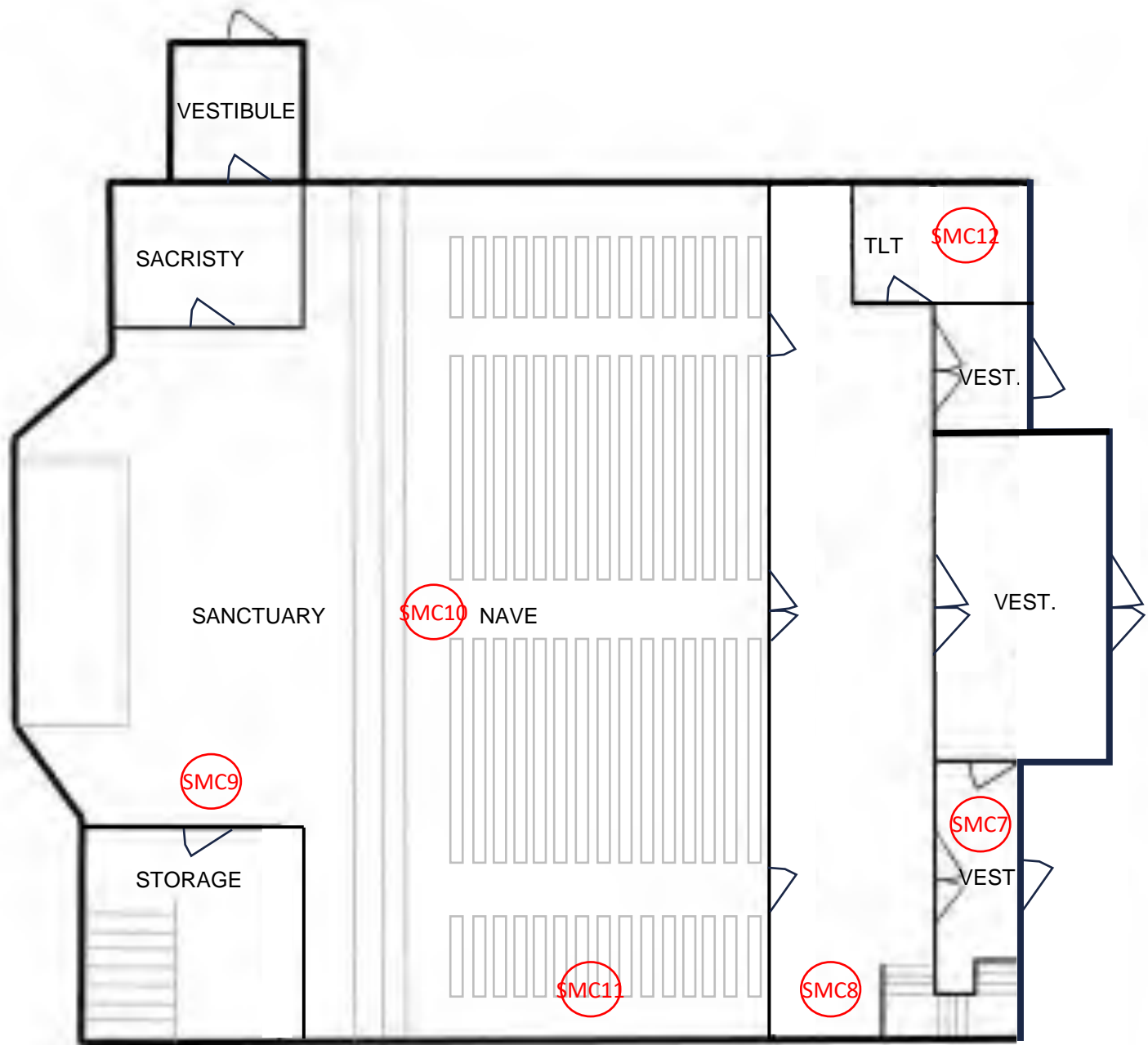
SMC5 – Peeling paint/damp floor.



SMC6 – Rotted wood at vestibule decking.

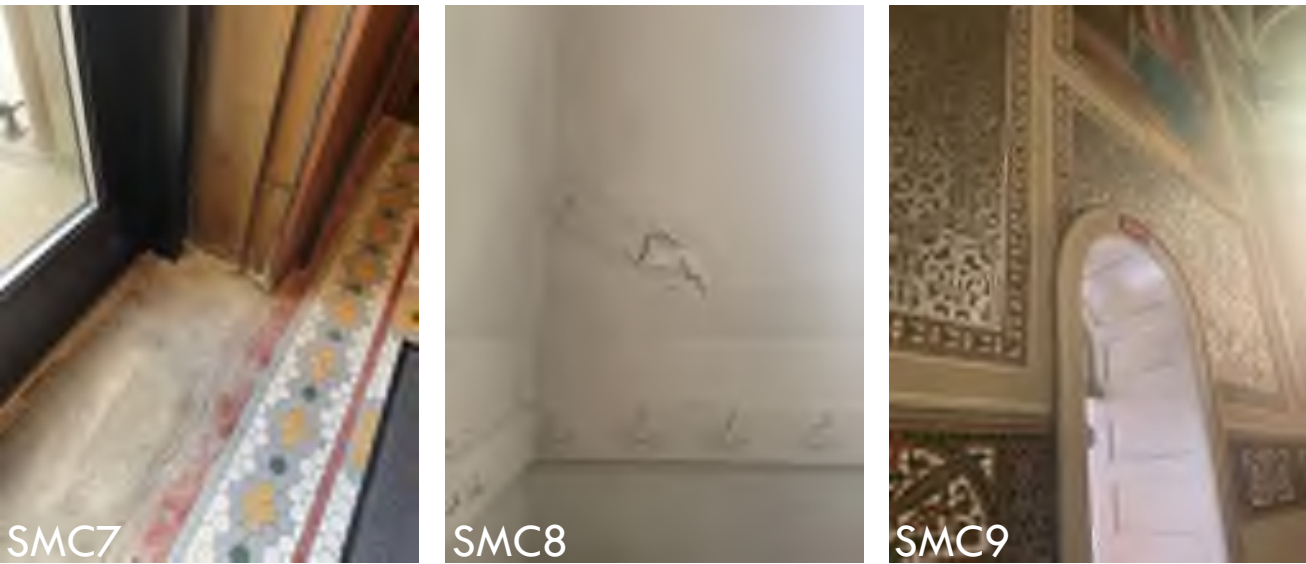


NOTES

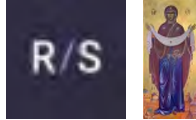


**Plans are diagrammatic sketches and not to scale

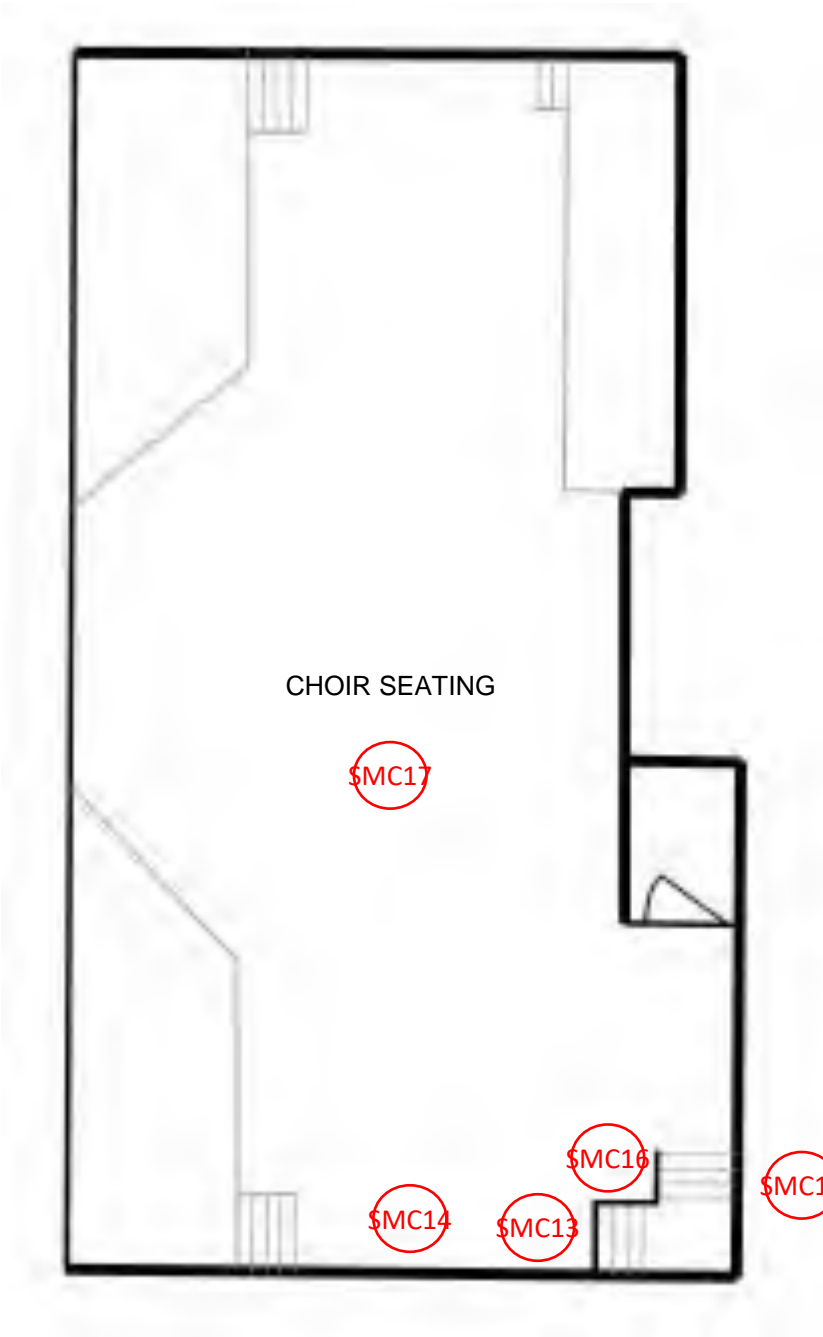
FIRST FLOOR



- SMC7 – Weathering/Rotting at door jambs
- SMC8 – Cracking at plaster walls.
- SMC9 – Exit sign is provided above egress door, sign is not illuminated
- SMC10 – ADA ramp is not provided at sanctuary, not a code issue but something to note for elderly congregation members.
- SMC11 – Mildew forming at stained glassing, wood chipping at jambs
- SMC12 – Restroom is not ADA compliant.



NOTES



**Plans are diagrammatic sketches and not to scale

MEZZANINE



SMC13



SMC14



SMC15

SMC13 – Railing only provided at one side of stair, guardrail is not code compliant.

SMC14 – Mildew forming at stained glassing, wood chipping at jambs

SMC15 – Cracking at plaster wall.

SMC16 – Railing extensions are not code compliant.

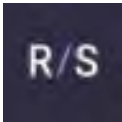
SMC17 – Mezzanine Occupancy is limited to 29, current provided seats may be higher than allowed occupancy.



SMC16



SMC17



NOTES



****NOTE: SCHOOL BUILDING NO LONGER EXISTS.****

EXTERIOR



SMC18



SMC19



SMC20

- SMC18 – Peeling Paint/Rotting wood at door jamb.
- SMC19 – Sealant around the door is starting to gap.
- SMC20 – Rotted wood at stained glass window storms.
- SMC21 & SMC22 – Minor tuckpointing needed at base masonry.
- SMC23 – Cracking vinyl siding & loose weatherstripping at vestibule.



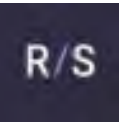
SMC21



SMC22



SMC23



FACILITIES ASSESSMENT – ST. MARY RECTORY 3.10

- CONSTRUCTION:

1950
- BUILDING AREA:

3,540 sq. ft. (Approx.) 2 Stories + Basement
- STRUCTURE:

CMU foundation walls, wood stud, beams and joists
- SYSTEMS:

Electrical: This house is being used as a home. There is a small chapel type area in the house. The single panel is of current manufacture. Panel also supplies the associated garage. The wiring is mix of original and updated. Lighting is mostly residential incandescent with some task lighting. No emergency or exit lighting for the chapel area. Exterior lighting is incandescent.

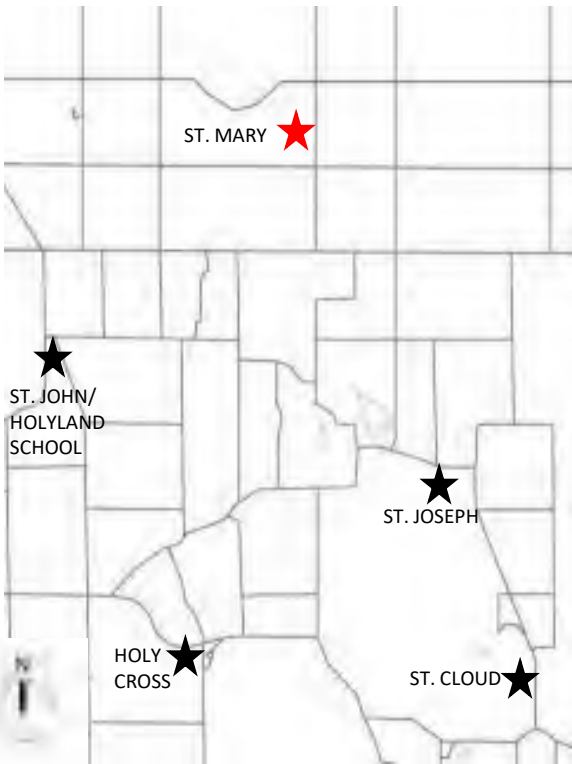
HVAC: The natural gas fired hot water boiler is located in the basement. The boiler appears to have been recently replaced and has its full expected service life of 35 remaining. The associated pumps also have their full expected service life of 20 years remaining. The piping throughout the building is deficient of energy-saving insulation.

Plumbing: Domestic water system: Domestic water is supplied from a well. The domestic water piping is a mixture of copper and galvanized pipe that is original to the building and is in fair to poor condition. The water softener is in poor condition. Domestic hot water is supplied by an electric water heater that is in fair/poor condition. Waste and vent system: a combination of cast iron and PVC is in good (PVC) to poor (C.I.) condition. Plumbing fixtures are in fair condition but are not past their useful life. The rectory appears to be on a septic system, which should be inspected in the near future.
- CURRENT USE:

Assembly – Chapel
Residential – House
- PROGRAM FIT:

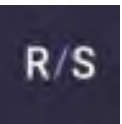
Short term residences

If building is used more frequently for offices/prayer ADA accessibility should be explored.



FACILITIES ASSESSMENT – ST. MARY RECTORY 3.10

ROOF AGE:	Unknown (Original)
ROOF TYPE:	Slate Tile (Assumed Asbestos)
CONDITION:	Poor
RECENT REPAIRS:	None Noted
RECOMMENDED REPAIRS:	Loose/buckled tile at base of chimney, exposed wood under hip capping (underlayment under capping assumed to be deteriorated), deteriorated mortar at chimney.
REMAINING LIFE:	1-3 Years



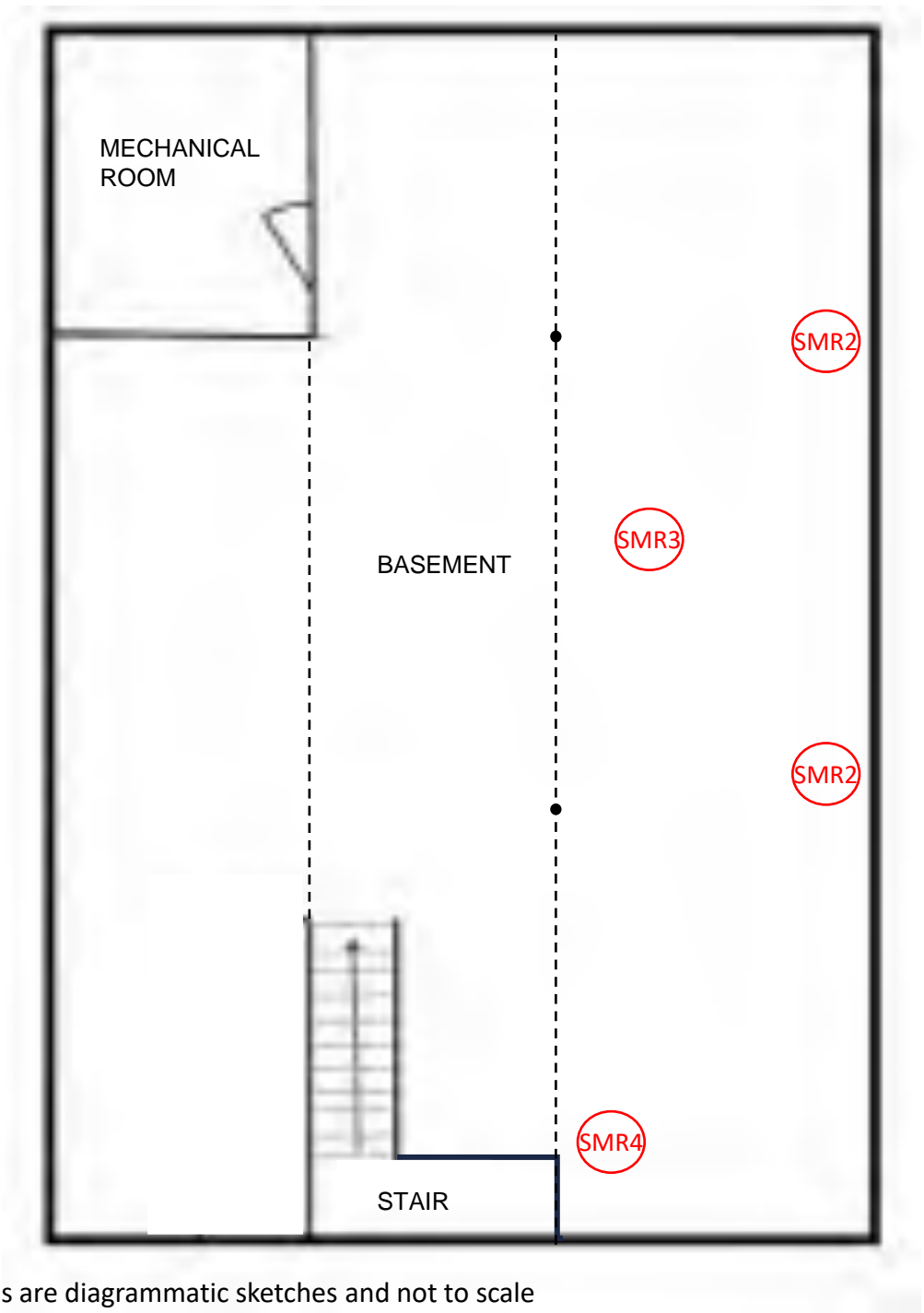
NOTES



SMR1 & SMR2 – Cracking at exterior foundation wall

SMR3 – Cracking at concrete floor

SMR4 – Significant cracking where steel beam is bearing on foundation wall. This condition should be further evaluated for water penetration and structural integrity of wall



**Plans are diagrammatic sketches and not to scale

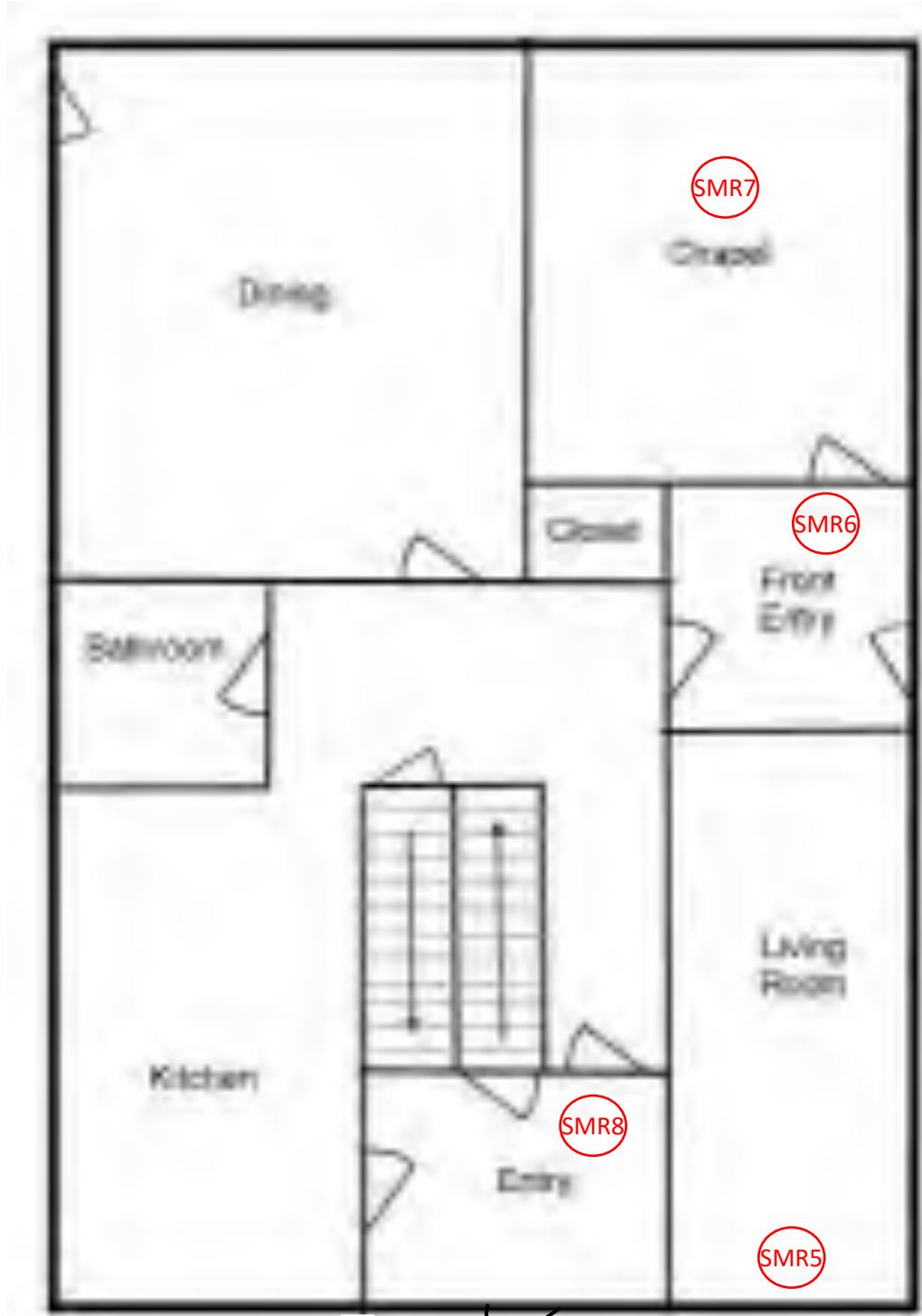
BASEMENT



NOTES



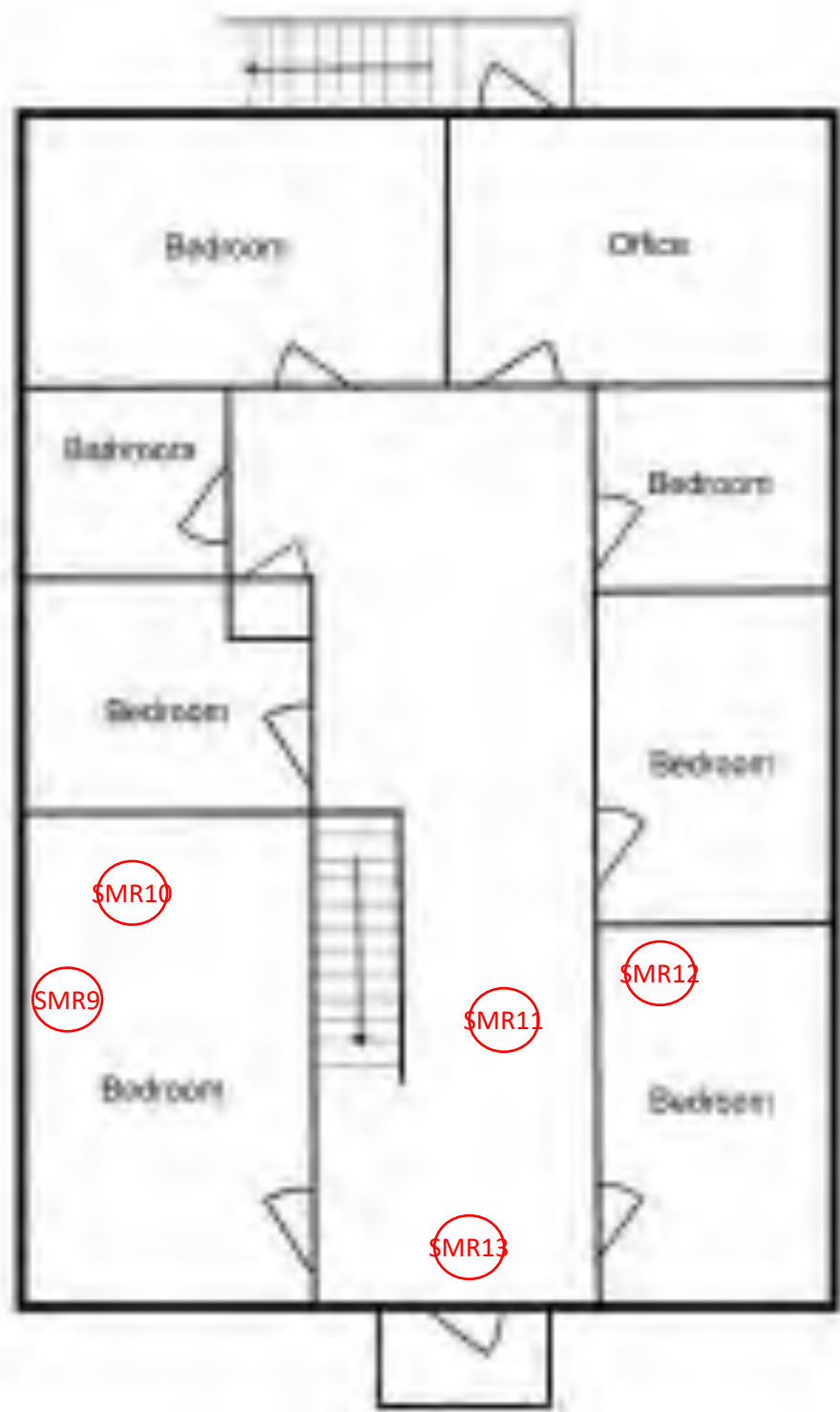
SMR5 – Windows are original to building, water damage noted at some locations, seals are popping, resident noted draftiness in the winter.
SMR6 – Storm door has significant peeling/cracking at interior side.
SMR7 – Assembly occupancy in residential building.
SMR8 – No ADA accessibility is provided to the building.



**Plans are diagrammatic sketches and not to scale

FIRST FLOOR

NOTES



**Plans are diagrammatic sketches and not to scale

SECOND FLOOR



SMR9



SMR10



SMR11

SMR9 – Windows are original to building, water damage noted at some locations, seals are popping, resident noted draftiness in the winter.

SMR10 – Peeling paint at ceiling.

SMR11 – Hallway flooring is starting to wear in locations.

SMR12 – Metal wall mounted hanger for sink is exposed, consider removal and patching.

SMR13 – Patio membrane is gapping in locations, railing is starting to rust.



SMR12



SMR13



NOTES

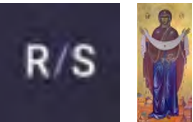


****NOTE: SCHOOL BUILDING NO LONGER EXISTS.****

EXTERIOR



- SMR14 – Rusting at basement windows.
- SMR15 – Efflorescence in various locations.
- SMR16 – Storm door has significant peeling/cracking at exterior side.
- SMR17 – Exterior header needs is rusting and will need prep & painting.
- SMR18 – Exterior stair railings are not code compliant.
- SMR19 – Rusting at overhang fascia.



NOTES



****NOTE: SCHOOL BUILDING NO LONGER EXISTS.****

SITE



SMC24 – Deep, depressed cracks with the start of fatigue cracking.



SMC25 – Sediment accumulation which signifies standing water.

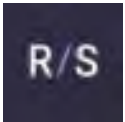


SMC26 – Asphalt edge cracking and minor rutting from parking vehicles.

SMC27 – Significant fatigue cracking.

SMC28 – ADA signs installed too low.

SMC29 – Significant fatigue cracking and vegetation intrusion.



FACILITIES ASSESSMENT – ST. JOSEPH CHURCH 3.11

- CONSTRUCTION:

1870
- BUILDING AREA:

5,950 sq. ft. (Approx) 1 Story + Mezzanine & Basement
- STRUCTURE:

Stone foundation walls, wood beams and joists.
- SYSTEMS:

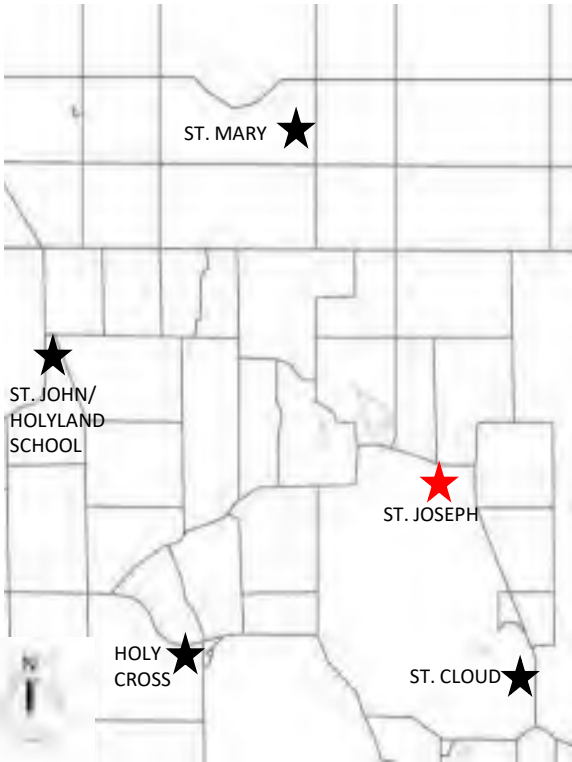
Electrical: The church has a single panel supplied from the school electric service. This panel is of current manufacture. The age and condition of the wiring is unknown as none was visible. The building has lightning protection that should be reviewed to confirm still is fully functional. There is no emergency lighting or exit lights in the building. Interior lighting appears to still be incandescent. Exterior is incandescent building mounted. There are 2 HID fixtures for lighting the parking lot, one is pole mounted and the other is mounted to the school. Sound system seems recent with no issues reported.

HVAC: The steam and condensate piping in the basement is in fair condition but is deficient in energy-saving insulation. The electric control valve on the basement steam main to the church appears to have recently been replaced and is in good condition. Recirculating ceiling fans in the church appear to be in fair condition.

Plumbing: No plumbing systems in the church.
- CURRENT USE:

Assembly – Nave
- PROGRAM FIT:

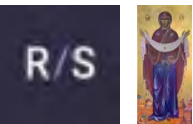
ADA compliant bathrooms & Mechanical Room



FACILITIES ASSESSMENT – ST. JOSEPH CHURCH

3.11

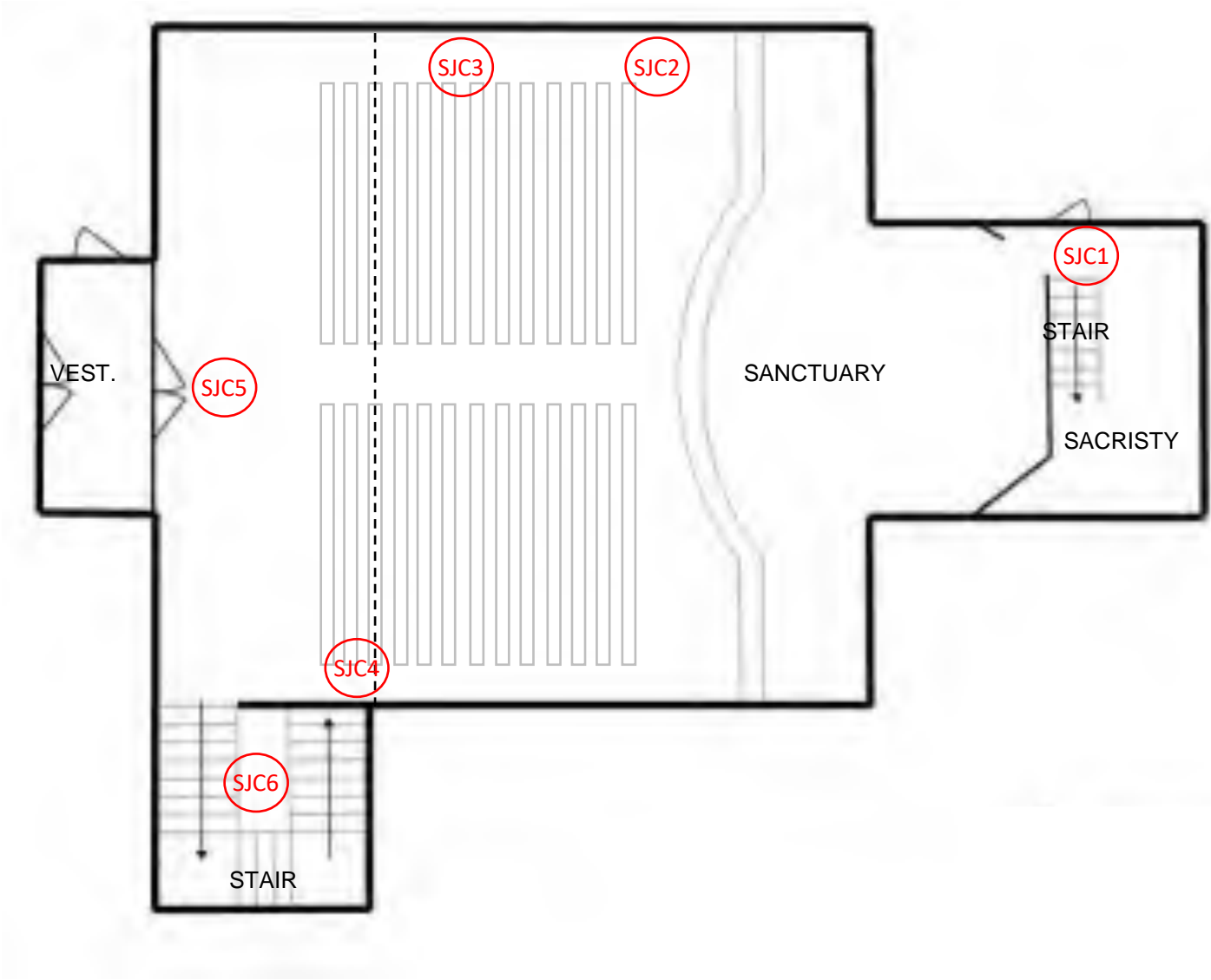
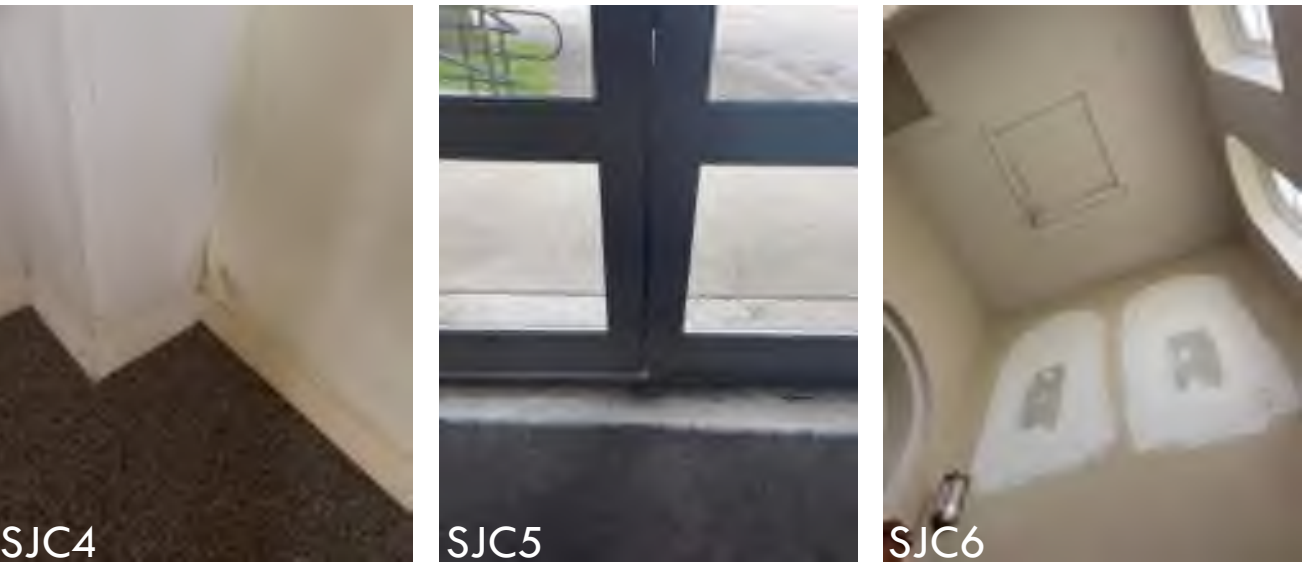
ROOF AGE:	Unknown (Original)
ROOF TYPE:	Slate Tile (Assumed Asbestos)
CONDITION:	Moderate
RECENT REPAIRS:	None Noted
RECOMMENDED REPAIRS:	Broken/loose tiles at eave, deteriorated mortar at chimney, loose gutter straps.
REMAINING LIFE:	3-5 Years



NOTES

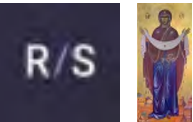


- SJC1 – Storage door does not have proper clearances or landing.
- SJC2 – Mildew at some FRP conditions.
- SJC3 – Cracking at window head.
- SJC4 – Mildew & peeling FRP.
- SJC5 – Door has gaps, seals need replacement.
- SJC6 – Windows were removed at patched, paint needed at locations.

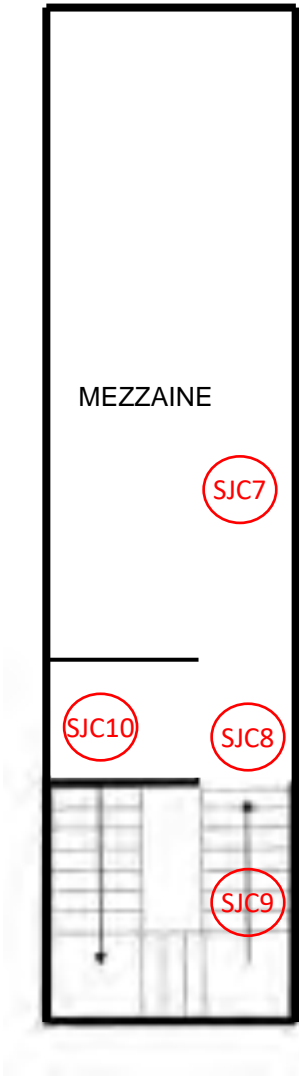


**Plans are diagrammatic sketches and not to scale

FIRST FLOOR



NOTES



STORAGE
MEZZAINE
SJC11 SJC12

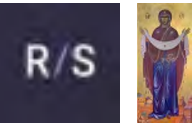


- SJC7 – Railing is not code compliant.
- SJC8 – Cracking at existing plaster.
- SJC9 – Windows were removed and infilled, paint needed at locations.
- SJC10 – Ladder is exposed, suggest storing or marking off with a chain when not in use.
- SJC11 – Significant cracking in plaster at storage mezzanine.
- SJC12 – Significant water damage at storage mezzanine.



**Plans are diagrammatic sketches and not to scale

MEZZANINE



NOTES



EXTERIOR



SJC13



SJC14



SJC15

SJC13 – Transition from surface parking to lot is raised, leveling this transition should be considered.

SJC14 – Minor areas of masonry repair and tuckpointing needed.

SJC15 & SJC16– Significant peeling at garage trim.

SJC17 – Gaps/Rotting at fascia transition

SJC18 – Gapping at door jamb, consider caulking any open transitions.



SJC16



SJC17



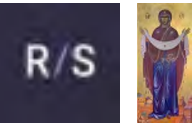
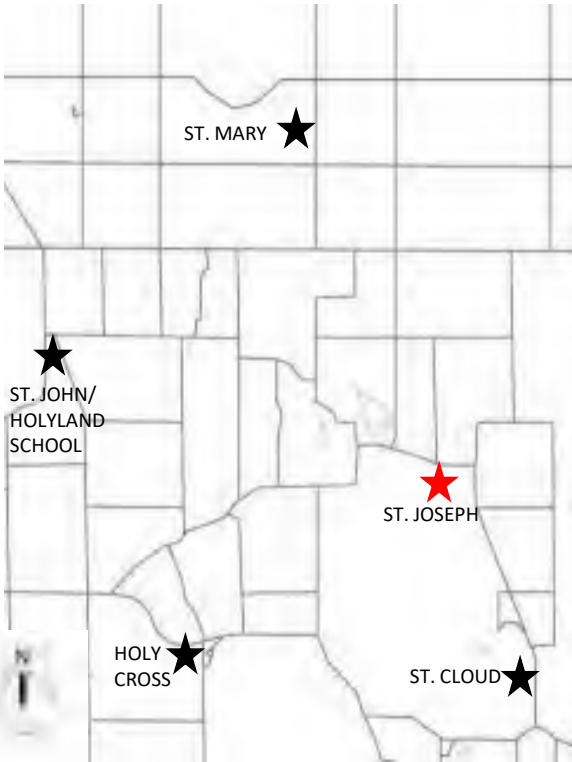
SJC18

R/S



FACILITIES ASSESSMENT – ST. JOSEPH SCHOOL 3.12

CONSTRUCTION:	1913
BUILDING AREA:	5,499 sq. ft. (Approx) 2 Stories + Basement
STRUCTURE:	Stone foundation walls, wood beams and joists.
SYSTEMS:	<p>Electrical: Appears the school is being utilized on a very limited basis and not for elementary education. Service panel and only panel is of current manufacture however the meter socket is very rusty. This panel has feeder that supplies the church. The age and condition of the wiring is unknow as none was visible. Unit battery lighting emergency lighting and unit battery exits provide full coverage. Interior lighting is mostly T8 fluorescent with HID on exterior. Fire alarm system is an obsolete 120-volt system. Technology is very limited to non-existent in the school. There are no security cameras. Given the remote location of the school, adding recording cameras might be desired.</p> <p>HVAC: The low-pressure steam boiler and connected natural gas fired burner is located in the basement and estimated to have been replaced in 2000. It appears to be in fair condition but is nearing the end of the expected service life of 25 years. The associated condensate pump is of the same age, is in poor condition and has exceeded the expected service life of 20 years. The boiler room steam piping is partially insulated, but other piping throughout the school is deficient of energy-saving insulation. The steam cast iron radiators have an estimated surface temperature of 200 deg F which exceeds a recommended maximum of 120 deg F. The building is not air conditioned and fresh air ventilation for occupants is achieved through the operable windows. Boiler controls were updated with its replacement, but space temperature control is by manual valves at the steam cast iron radiators or some non-programmable thermostats.</p> <p>Plumbing: All of the plumbing systems in this building are well beyond their useful life and mostly abandoned, which includes domestic water system, drain waste and vent system, plumbing equipment, and plumbing fixtures.</p>
CURRENT USE:	Restrooms – Serving the church. Mechanical – Equipment Room/Boiler Room for the church.
PROGRAM FIT:	N/A



FACILITIES ASSESSMENT – ST. JOSEPH SCHOOL 3.12

ROOF AGE:	25 years old
ROOF TYPE:	Asphalt Shingles
CONDITION:	Good
RECENT REPAIRS:	None Noted
RECOMMENDED REPAIRS:	No Issues
REMAINING LIFE:	6-8 Years



NOTES



**Plans are diagrammatic sketches and not to scale

BASEMENT



SJS1



SJS2



SJS3

SJS1 – Classroom space is not code compliant, 2 exits are not present. Ladder and window are not code compliant.

SJS2 & SRJ3 – Demolished restrooms at lower level, some drains are not plugged. Paint peeling.

SJS4 – Significant chipping at plaster walls

SJS5 – Dampness around piping in mechanical room

SJS6 – Significant wet spots at boiler room.



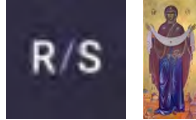
SJS4



SJS5



SJS6



NOTES

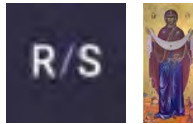
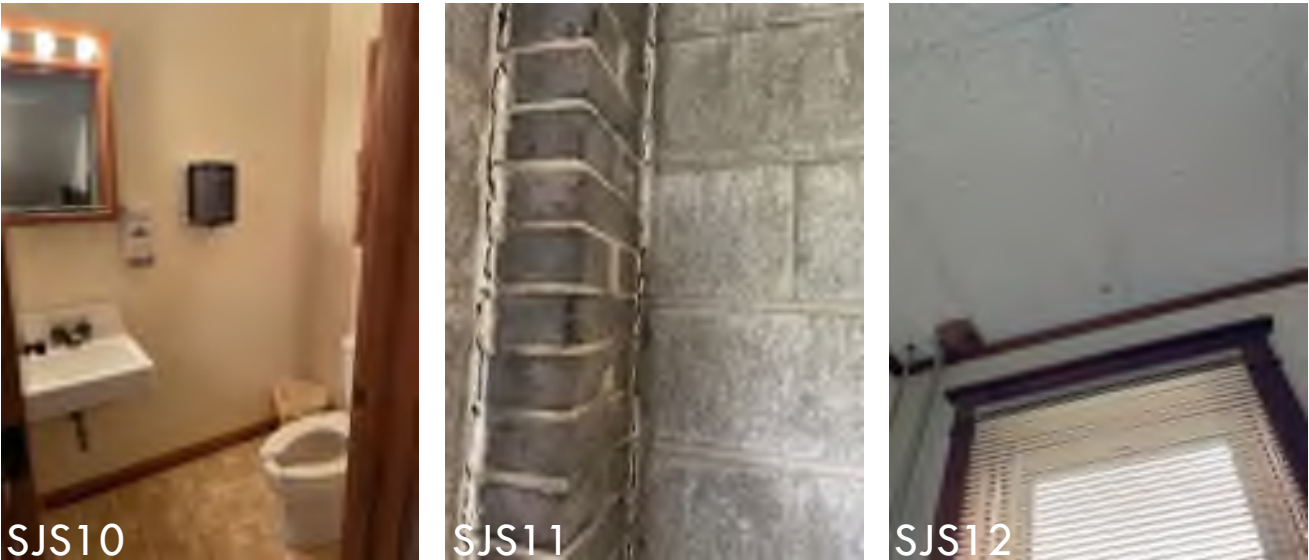


**Plans are diagrammatic sketches and not to scale

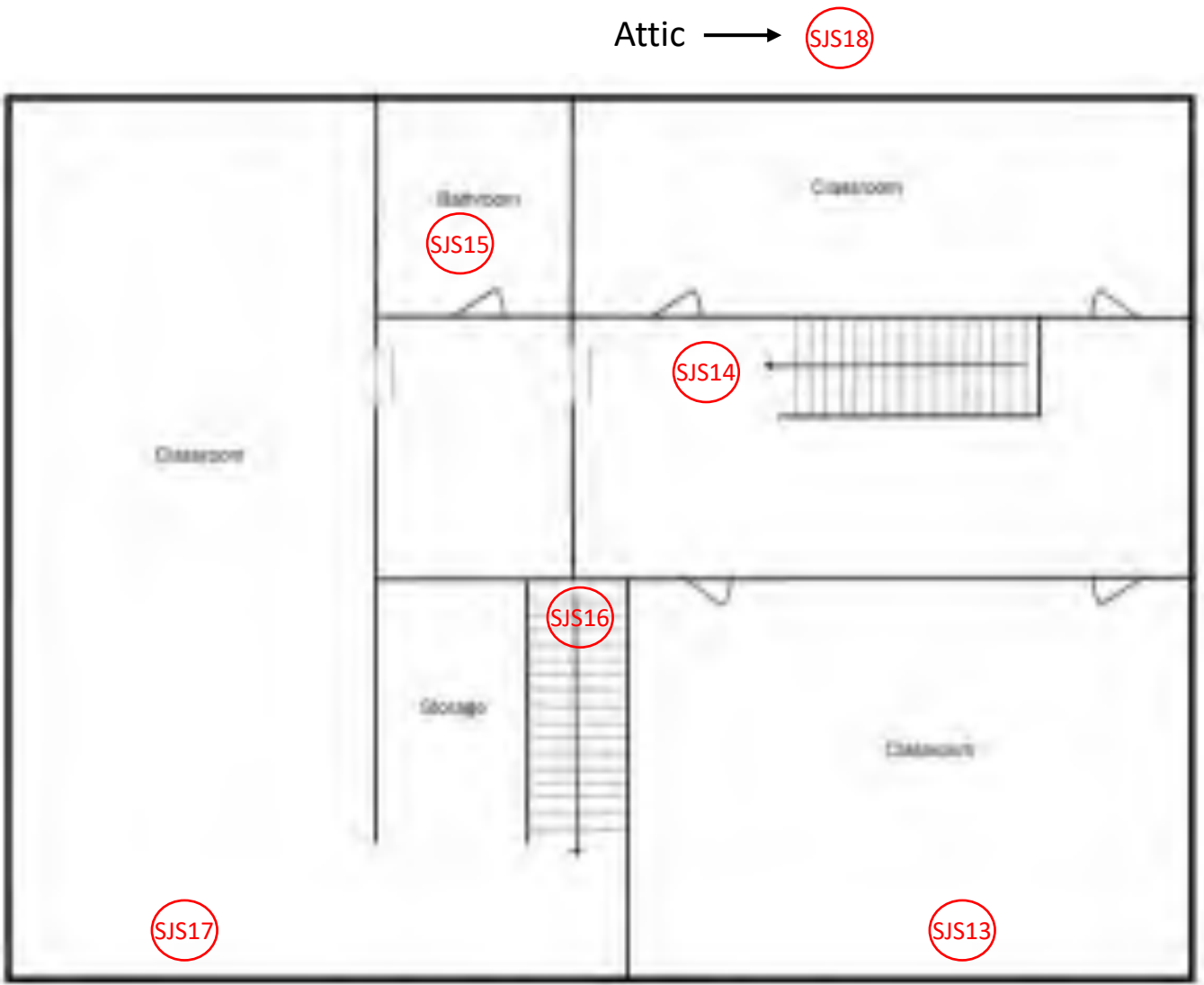
FIRST FLOOR



- SJS7 – Cracking at existing plaster.
- SJS8 – Plaster peeling away from walls.
- SJS9 – Building does not have a code compliant entry.
- SJS10 – Restrooms are not ADA compliant
- SJS11 – Sealant in vestibule is failing in locations
- SJS12 – Significant water damage in ceiling, remove ceiling tile to investigate. Some exterior windows need replacement, some are new.



NOTES

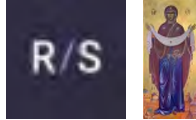


**Plans are diagrammatic sketches and not to scale

SECOND FLOOR



- SJS13 – Some exterior windows need replacement, some are new.
SJS14 – Stair is higher than allowed by code without a mid-landing.
SJS15 – Toilet rooms are not accessible, staining is present in the fixtures.
SJS16 – Mid-landing ceiling at main stair is lower than allowed by code.
SJS17 –Exposed plywood at infilled windows.
SJS18 – Significant rotting at chimney. Consider removal. Localized roof deck and rafter replacement needed.



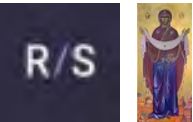
NOTES



EXTERIOR



- SJS19 & SJS20 – Significant cracking on the exterior stair.
- SJS21 – Basement windows consist of some new and some original to the building, may be past their useful life.
- SJS22 – Vestibule needs tuckpointing at CMU and brick, generally the building needs tuckpointing.
- SJS23 –Exterior condition of photo SJS6.
- SJS24 – Rotting at some of the exterior wood.



NOTES



SITE



SJC19



SJC20

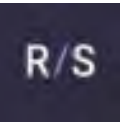


SJC21

- SJC19 – Significantly deteriorated concrete drainage channel.
- SJC20 – Significant cracking and rutting on cemetery access road.
- SJC21 – Depressions and fatigue cracking.
- SJC22 – Faded parking stall striping.



SJC22



OUR LADY OF THE HOLYLAND PARISH

EXISTING FACILITIES CONDITIONS REPORT

DECEMBER 1, 2023

